



STEPS TO THE TOWN OF SHARON ZONING APPEAL PROCESS

Make an appointment with the Building Inspector to review application and appeal process.

Obtain legal counsel if desired.

Complete application and gather necessary submittals. All applications require:

- a. Building plans;
- b. Plot Plan, which may be an existing mortgage plot plan if you are not changing the footprint of any structure. If the footprint of the building changes, a certified plot plan from a registered land surveyor is required showing existing and proposed improvements with dimensions and distances to lotlines. An Instrument survey is not necessary.
- c. A copy of certified list of abutters. This list shall contain the names and addresses of all abutters within 300 feet. This certified list can be obtained from the Board of Assessors' office at the Town Hall and will be presented on two complete sets of mailing labels.

The Building Inspector will advise you if letters of comment are needed from the Conservation Agent, Board of Health Agent or Town Engineer.

Bring seven (7) application packages (including your original) and your check to the Town Clerk's office at the Town Hall to be date stamped. A copy of your application will be kept by the Town Clerk for their records. The Conservation Agent will be reviewing the application, so an additional copy should be left for him.

Bring remaining applications and check to the Building Inspector's office. If it is necessary for the Board of Health Agent and Town Engineer to review your application, copies will be forwarded to the appropriate people.

You will be notified of your scheduled hearing date and for payment of the advertisement, which must be placed in the Sharon Advocate.

Follow up with Conservation Agent, Board of Health Agent, and Town Engineer regarding letters of comment. The Zoning Board of Appeals must receive these submittals prior to your hearing or you may be asked to continue your hearing to a later date.

Appear before the Zoning Board of Appeals. Be prepared to answer questions regarding type of construction that will be done (including dimensions of existing and new structure, along with percent increase of habitable space), the type of zoning relief that is needed and how you will comply with the Board of Health's septic regulations. Other questions may arise during the course of the hearing.

After you have presented all relevant information and any additional parties have presented all their information, the hearing will be closed. The Board will then render a decision as required by M.G.L. Decisions for special permits must be filed with the Town Clerk within ninety (90) days from the date of the hearing. Decisions for variances must be filed within one hundred (100) days from the date of application. These dates may be extended if continuances have been agreed to.

Twenty (20) days after the decision has been filed, you will need to check with the Town Clerk to see if any appeals have been filed. If none have been filed, you may take the decision and the Town Clerk's certification to be filed at the County Registry of Deeds. You may then file for a building permit.

Please email sharonzba@townofsharon.org with any question regarding the Zoning Board.



Sharon Zoning Board of Appeals
Application for Hearing

1. Name of Applicant: Sharon Standing Building Committee
2. Mailing Address of Applicant: Sharon Town Hall, 90 So. Main Street
Sharon, MA 02067
3. Phone: Home — Business: 781-784-1500
4. Applicant is: (check) Owner ☒ Tenant ☐ Licensee ☐
Prospective Purchaser ☐ Abutter ☐
Other ☐
5. Address/Location of Property to be Subject to Hearing: 1 School Street Sharon MA
6. Owner of Property: Town of Sharon
7. Mailing Address of Owner: 90 So. Main Street
Sharon, MA 02067
- 7a. Phone: Home — Business: 781-784-1500
8. Date of deed into current owner May 7, 1951
9. Has any application or appeal ever been filed with the Board of Appeals on this property? No
If yes, name of Applicant: N/A
10. Has the lot been surveyed by a Registered Land surveyor? yes
11. Nature of Application: (check)
 - a. ☐ Appeal in accordance with MA GL Ch. 40, Sec 8 as amended.
 - b. ☒ Special permit in accordance with MA GL Ch. 40A, Sec 9 as amended.
 - c. ☒ Variance in accordance with MA GL Ch. 40A, Sec. 10 as amended.
12. State the **exact nature** of this application (see instructions). State applicable section of Sharon Zoning Bylaws: See attached chart

Zoning Bylaw Section	Required/Allowed	Provided	Relief Requested
Minimum lot size within groundwater protection district §4533	60,000 sf/dwelling unit	38,293 sf	Special permit under § 4540 or exemption under § 4521
Minimum front yard § 2434	(1) 70' from North Main Street Centerline (2) 50' from School Street Centerline	52' +/- 30' +/-	Variance § 6222
Percent of lot coverage per Residential District B § 2433	25%	76%	Variance § 6222
Percent of lot coverage per groundwater protection district §4535	15%	76%	Special permit under § 4540 or exemption under § 4521
Natural vegetation per groundwater protection district § 4535	40% <i>minimum</i>	0	Special permit under § 4540 or exemption under § 4521

GATEHOUSE MEDIA NEW ENGLAND

COMMUNITY NEWSPAPER COMPANY

PATRIOT LEDGER/THE ENTERPRISE

HERALD NEWS FALL RIVER/ TAUNTON GAZETTE

WALPOLE TIMES, PROVINCETOWN BANNER

NANTUCKET INDEPENDENT

254 SECOND AVE, NEEDHAM, MA 02494-2811

DATE: ____/____/20____

I HEREBY ACKNOWLEDGE THAT THE APPLICATION I AM SUBMITTING TO THE:

TOWN OF SHARON, MASSACHUSETTS

☒ Zoning Board of Appeals

____ Planning Board

____ Conservation Commission

____ Historic Districts Commission

____ Other: _____

____ Board of Selectmen

Requires a legal notice of public hearing. Said hearing is to be held on ____/____/20____.

Legal notices are currently submitted to the SHARON ADVOCATE for publication on the following date(s). ____/____/20____ and ____/____/20____

I hereby **AUTHORIZE** that the required legal notice be billed directly to me by, **GateHouse Media New England, d/b/a, Community Newspaper Company, Inc.**

Printed Name: John Sayre-Scibona / Design Technique, Inc. / Owner's Project Manager

Signature: _____

Address: 4 Merrimac Street

City: Newburyport, State: MA, Zip: 01950

Phone: cell: 978-771-2640

Original copy to Town, copy to customer and copy to Legal Publication Dept of paper with ad copy.

13. Complete the following checklist and include all necessary enclosures with application. (Refer to instruction sheet.)

- _____ 7 copies and 1 original of this application
- _____ 7 copies of the Building Plans as described in instruction sheet
- _____ 7 copies of the Plot Plan of land as described in instruction sheet
- _____ 1 original abutters list certified by the Board of Assessors
- _____ 2 Copies of the abutters list on labels.
- _____ Check in the amount of the filing fee
- _____ 7 copies of the building inspector's denial (if issued).

A PDF COPY OF ALL PLANS, SPEC, AND ANY OTHER INFO BEING SUBMITTED WITH THE ZBA APPLICATION IS REQUIRED FOR ALL COMMERCIAL BUILDS. PLEASE EMAIL THE PDF FILES OR A LINK TO DOWNLOAD THE FILES TO ZBASHARON@TOWNOFSHARON.ORG. THE EMAILS SUBJECT LINE SHOULD INCLUDE THE ZBA CASE NUMBER AND THE STREET ADDRESS OF THE PROPERTY.

**Sharon Zoning Board of Appeals
Application of Hearing
Page 2**

I hereby request a hearing before the Sharon Zoning Board of Appeals with reference to the above noted application or appeal.

I am aware that the cost of advertising will be billed to me directly as the Applicant, by the newspaper at a later date. I am also aware that certain provisions of the By-Laws require the Applicant to provide certifications to the Zoning Board of Appeals. The cost of hiring the professional who will perform these certifications will be borne by the Applicant.

Signed: _____ Date: _____

Signed: _____ Date: _____

Schedule of Filing Fees

Application shall be accompanied by a filing fee, payable to the Town of Sharon of \$100.00 for the first two acres and \$25.00 for each additional acre or part thereof of the locus, except for applications for a public stable permit, that fee being \$25.00 regardless of land area.

APPENDIX A
SPECIAL PERMIT CONDITIONS AND WORKSHEET

1. That the use is in harmony with the general purpose and intent of the bylaw:
* the proposed use is an educational use protected
by the Dover Amendment, not subject
to zoning. This issue will be further
addressed in a forthcoming memorandum to the
Board
2. That the use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district: _____

3. Adequate and appropriate facilities will be provided for the proper operation of the proposed use:

4. That the proposed use would not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials, visual or other nuisances:

5. That the proposed use would not cause undue traffic congestion in the immediate area:

APPENDIX B
VARIANCE CONDITIONS AND WORKSHEET

1. The Variance must be with respect to particular land or structures.

Parcel of Land: * 1 School Street

Structures: New public library

2. There must be circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located.

Circumstances: * to be addressed in memorandum to the Board regarding Dover Amendment protections

3. Literal enforcement of the provisions of the bylaw would involve substantial hardship, financial or otherwise, to the petitioner or appellant.

Hardship would be: _____

4. Desirable relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such bylaw.

Relief would be: _____

Detriment would be: _____

Is it substantial? _____

Intent or purpose of bylaw section? _____

Would the variance nullify intent or purpose above? _____

Is there any substantial derogating, (Lessening) of the intent or purpose; and if so, what is it? _____

100% DESIGN DEVELOPMENT DRAWINGS FOR :

SHARON PUBLIC LIBRARY

1 SCHOOL STREET
SHARON, MASSACHUSETTS

MARCH 25, 2020



LOCUS

LIST OF DRAWINGS

EX-1	EXISTING CONDITIONS PLAN
SP-1	SITE PREPARATION PLAN
C-1	LAYOUT AND MATERIALS PLAN
C-2	GRADING AND UTILITIES PLAN
C-3	SEPTIC SYSTEM PLAN AND DETAILS
C-4	PLANTING PLAN
C-5	SITE DETAILS 1
C-6	SITE DETAILS 2

ZONING TABLE (ASSESOR MAP 101 PLOT 47)		
Zone: Single Residential District B Zone: Groundwater Protection District Use: Municipal Public Library		
	Required/Allowed	Provided
MINIMUM LOT SIZE PER RESIDENTIAL DISTRICT B	20,000 SF	38,293 SF
MINIMUM LOT SIZE WITHIN GROUNDWATER PROTECTION DISTRICT	60,000 SF/DWELLING UNIT	* 38,293 SF
CONTINUOUS FRONTAGE	66'-8"	401 +/-'
LOT WIDTH	100'	274 +/-'
MINIMUM FRONT YARD	(1) 70' FROM N. MAIN ST CENTERLINE	* 52 +/-'
	(2) 50' FROM SCHOOL STREET CENTERLINE	* 30 +/-'
MINIMUM SIDE YARD	(1) 10' FROM NORTH PROPERTY LINE	43 +/-'
	(2) 10' FROM WEST PROPERTY LINE	82 +/-'
MINIMUM REAR YARD	10'	NO REAR PROPERTY LINE ON CORNER LOT
PERCENT OF LOT COVERAGE PER RESIDENTIAL DISTRICT B	25%	* 74%
PERCENT OF LOT COVERAGE PER GROUNDWATER PROTECTION DISTRICT	15%	* 74%
NATURAL VEGETATION PER GROUNDWATER PROTECTION DISTRICT	40% MINIMUM	* 0 +/- %
MAXIMUM BLDG HEIGHT	35' OR 2.5 STORIES	< 35' AND <2.5 STORIES
MAX SEPTIC FLOW ALLOWED PER GROUNDWATER PROTECTION DISTRICT	6 GPD / 1,000 SFT LOT AREA 6 GPD / 38,293K SFT= 229 GPD ALLOWED	* (OCCUPANCY + 110 MEETING ROOM=427) 427 PPL X 3 GPD/PERSON = 1281 GPD
PARKING REQUIREMENT	1 SPACE PER 600 GSF FOR RELIGIOUS AND PUBLIC EDUCATION IN BUSINESS/PROFESSIONAL DISTRICT 24,500(+/-) GSF X (6/1000) = 41 SPACES MPLCP: 60 SPACES ITE: 63 SPACES	* 30 ONSITE + 42 OFF SITE = 72 TOTAL
HC PARKING REQUIREMENT	(51-75) SPACES REQUIRE 2 HC SPACES	2 HC SPACES (1 STD + 1 VAN)

* DENOTES NOT MEETING MINIMUM REQUIREMENTS

APPLICANT

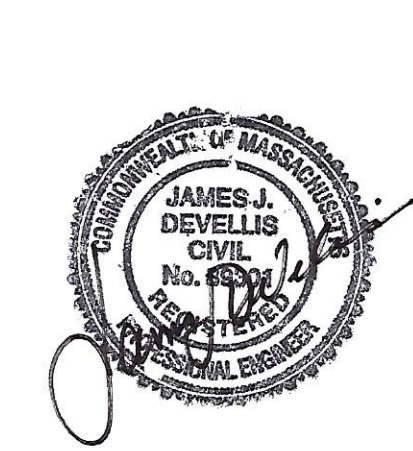
TOWN OF SHARON
SHARON, MASSACHUSETTS 02493

ARCHITECTURE

LLB ARCHITECTS
LERNER LADDS BARTELS
161 EXCHANGE ST.
PAWTUCKET, RI 02860

CIVIL ENGINEERING/LANDSCAPE ARCHITECTURE

DEVELLIS ZREIN, INC.
PO BOX 307
FOXBOROUGH, MA 02305
DEVELLISZREIN.COM



GENERAL NOTES

1.) THE INTENT OF THIS PLAN IS TO DETAIL EXISTING SITE CONDITIONS AT 1 SCHOOL STREET, SHARON, MA. PROPERTY IS COMPRISED OF :

2.) ASSESSOR'S MAP 101 PLOT 47, OWNER OF RECORD: SHARON SCHOOL DEPT. OFFICE.

3.) PLAN REFERENCES :
P-1.) PLAN #875 OF 1964
P-2.) PLAN #315 OF 1962
P-3.) PLAN #271 OF 1988

4.) PRIMARY BENCHMARK : BM-A SB/DH FND AT THE CORNER OF SCHOOL ST. AND N. MAIN STREET ELEVATION = 294.77' (DATUM: NAVD 1988)
PROJECT BENCHMARK : BM-B SPIKE IN UPOLE #96-3 ELEVATION = 292.18 (DATUM: NAVD 1988)

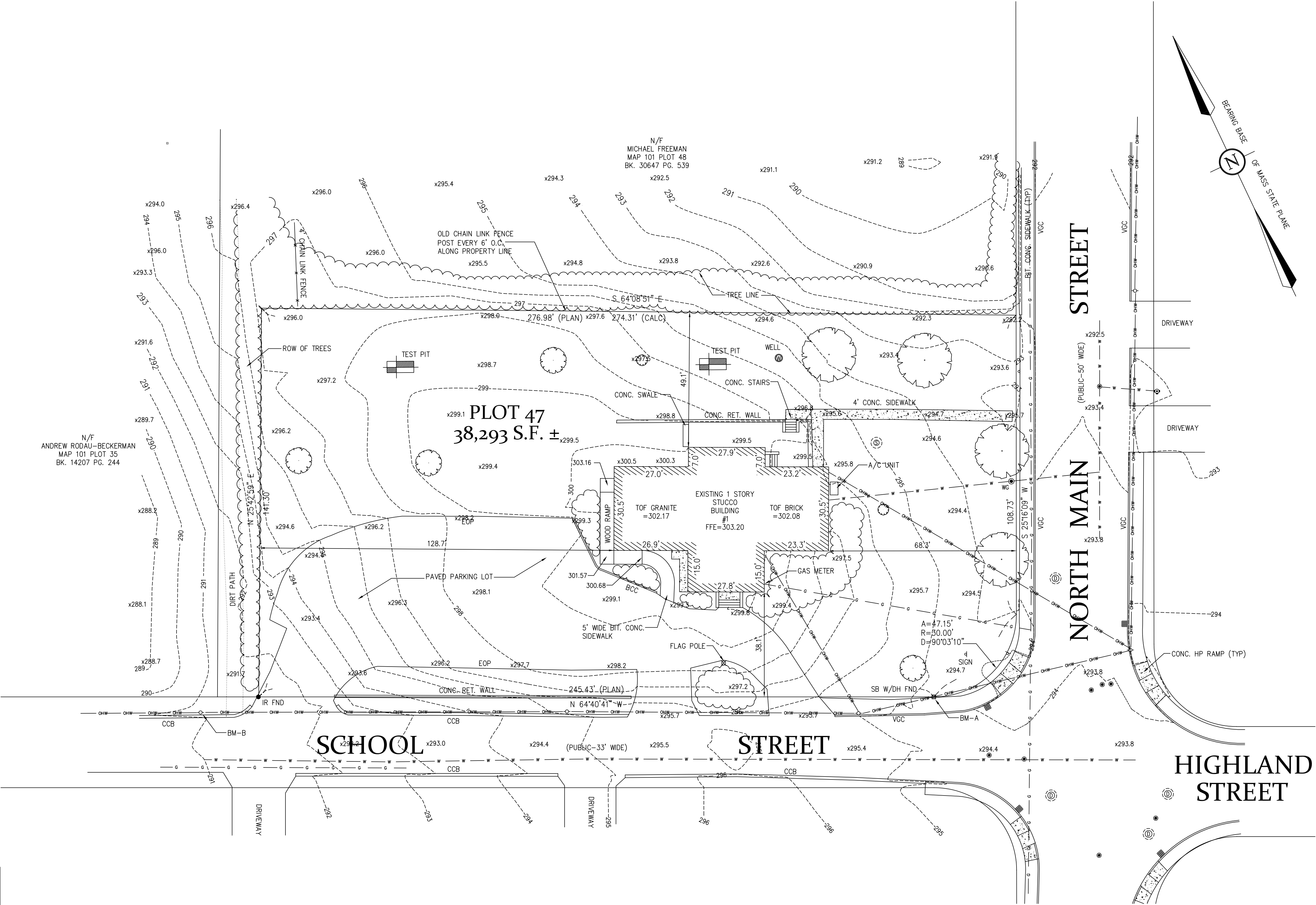
5.) ZONING INFORMATION ZONING DISTRICT : SINGLE RESIDENTIAL DIST. B
MINIMUM / MAXIMUM ZONING REQUIREMENTS
MIN. LOT AREA = 20,000 S.F
MIN. LOT FRONTAGE = 100' (LOT WIDTH)
MIN. FRONT YARD = 30' MIN. SIDE = 10' & REAR YARD = 10'
MAX. BUILDING HEIGHT = 35' OR 2.5 STORIES
MAX. BUILDING COVERAGE % = 25%

6.) THE PROPERTY LINE INFORMATION SHOWN IS BASED ON CURRENT AVAILABLE RECORD INFORMATION CONSISTING OF PLANS AND DEEDS AND AN ACTUAL ON THE GROUND FIELD SURVEY PERFORMED BY THIS FIRM ON 9-15-16. FIELD BOOK REFERENCE : 12 PGS 10 - 12.

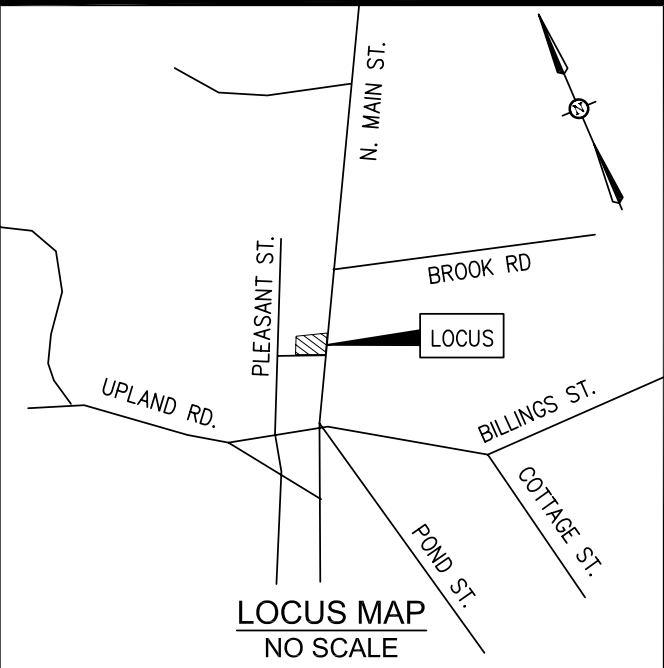
7.) COMMUNITY PANEL NUMBER: 25021C0193E (DATE: 7-17-12) THE FLOOD INSURANCE RATE MAP DEFINES THIS AREA AS ZONE X, AREA OUTSIDE THE 0.2 % CHANCE ANNUAL FLOOD PLAIN.

8.) ENVIRONMENTAL INFORMATION: SITE IS NOT WITHIN AN A.C.E.C. (AREA OF CRITICAL ENVIRONMENTAL CONCERN).
SITE IS NOT WITHIN AN AREA OF ESTIMATED HABITAT OF RARE WILDLIFE PER NHESP MAP OF THE 2006 "ESTIMATED HABITATS OF RARE WILDLIFE" FOR USE WITH THE MA WETLANDS PROTECTION ACT REGULATIONS (310 CMR 10).
SITE DOES NOT CONTAIN A CERTIFIED VERNAL POOL PER NHESP MAP OF THE 2006 "CERTIFIED VERNAL POOLS".
SITE IS NOT WITHIN A PRIORITY HABITAT PER NHESP MAP OF THE 2006 "PRIORITY HABITATS OF RARE SPECIES" FOR SPECIES UNDER THE MASSACHUSETTS ENDANGERED SPECIES ACT, REGULATIONS (321 CMR10)
SITE IS NOT WITHIN A STATE APPROVED ZONE II GROUND WATER RECHARGE PROTECTION AREA.
THE SITE IS LOCATED WITHIN THE NEPONSET WATERSHED DISTRICT

9.) UTILITY INFORMATION SHOWN HEREON: THE CONTRACTOR SHALL CONTACT DIG SAFE (AT 1-888-DIG-SAFE) AND UTILITY COMPANIES TO LOCATE ALL EXISTING UTILITIES, AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION. LOCATION OF EXISTING UNDERGROUND INFRASTRUCTURE, UTILITIES, CONDUITS AND LINES ARE SHOWN IN AN APPROXIMATE WAY ONLY, MAY NOT BE LIMITED TO THOSE SHOWN HEREON. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO LOCATE SAID INFRASTRUCTURE AND UTILITIES EXACTLY.



LEGEND	
● = WATER GATE/SHUT-OFF	— = STONE WALL
■ = CATCH BASIN	— = DRAIN PIPE
⊕ = DRAIN MANHOLE	—W— = WATER LINE
⊙ = SEWER MANHOLE	—S— = SEWER LINE
⊙ = ELECTRIC MANHOLE	—G— = GAS LINE
⊕ = TELEPHONE MANHOLE	— = STEEL GUARDRAIL
○ = MANHOLE	— = STOCKADE FENCE
⊕ = ELECTRIC BOX	—X—X— = CHAIN LINK FENCE
⊕ = ELECTRIC METER	—OHW— = OVERHEAD WIRES
⊕ = AIR CONDITIONER	~~~~~ = TREE LINE
⊕ = GAS METER	⊙ = TREES & SHRUBS
⊕ = HYDRANT	⊕ = UTILITY POLE/GUY WIRE
⊕ = LIGHT POLE	⊕ = TRAFFIC SIGNAL POLE
⊕ = SIGN	—EOP— = EDGE OF PAVEMENT
⊕ = DPW SIGNAL BOX	PCC = PRECAST CONCRETE CURB
⊕ = MONITORING WELL	VGC = VERTICAL GRANITE CURB
	SGC = SLOPED GRANITE CURB
	CCB = CAPE COD BERM

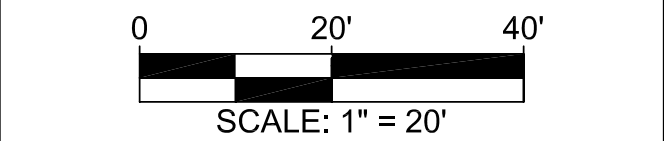


PERMITTING SET		
REVISIONS		
No.	DATE	DESCRIPTION

DRAWN BY: TME
CHECKED BY: EPJ
DESIGNED BY:

EXISTING CONDITIONS
PLAN
1 SCHOOL STREET
IN
SHARON
(NORFOLK COUNTY)
MASSACHUSETTS
SEPTEMBER 16, 2016

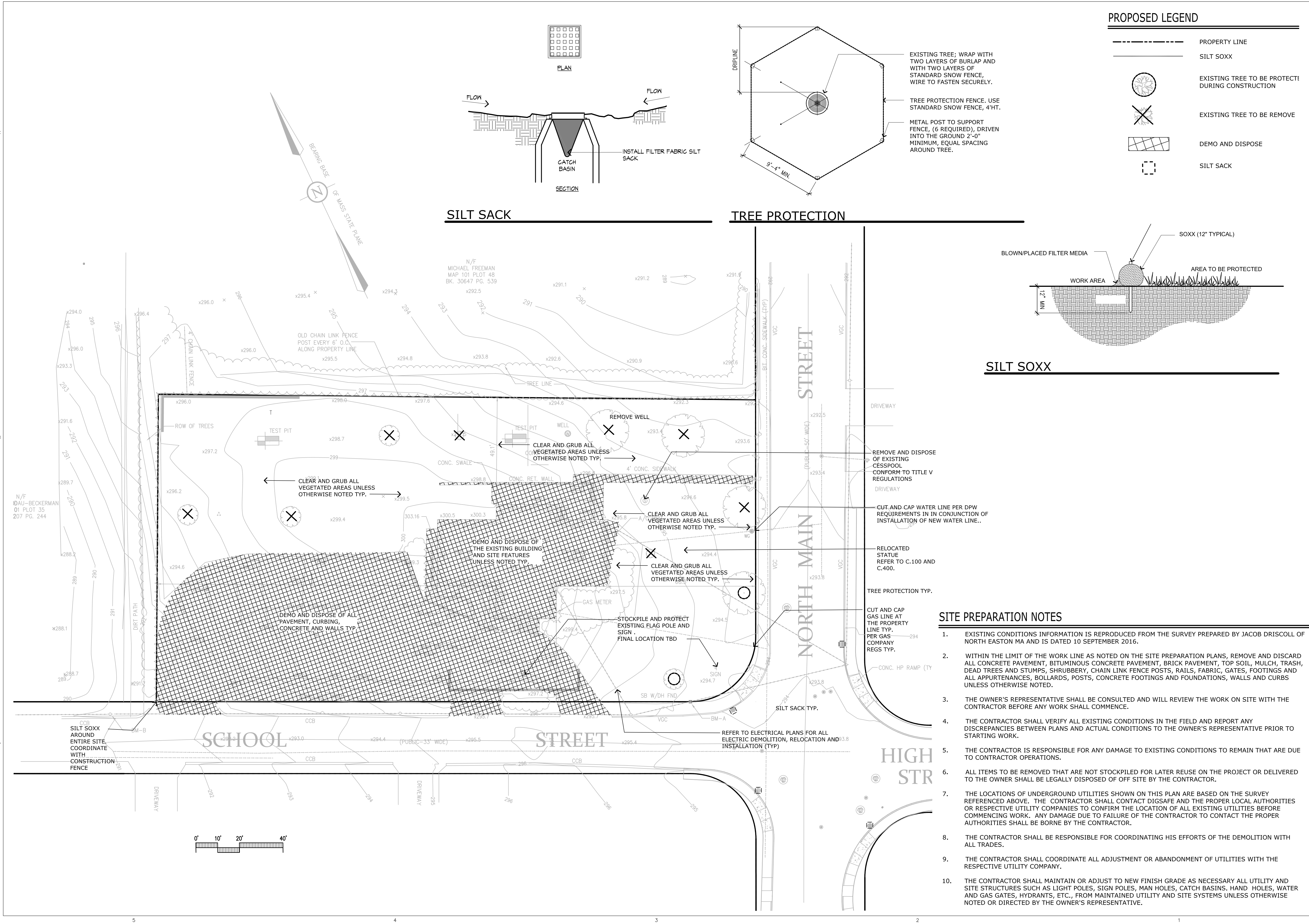
PREPARED FOR:
SHARON PUBLIC
LIBRARY
11 N. MAIN STREET
SHARON
MASSACHUSETTS
02067

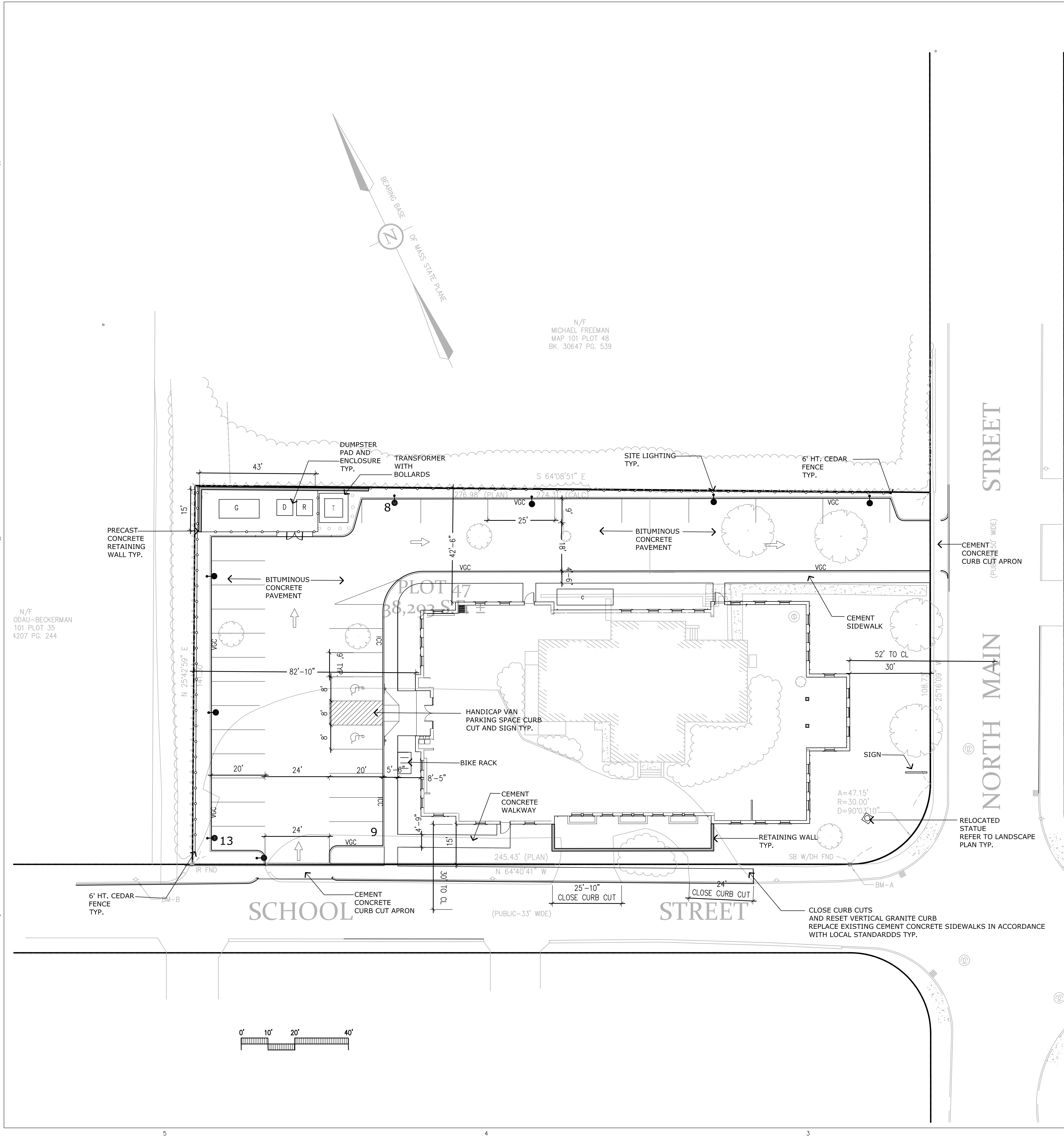


JDE

Jacobs Driscoll Engineering

50 Oliver Street, Suite W3
North Easton, Massachusetts 02356
Phone: 508-928-4400
www.JacobsDriscoll.com



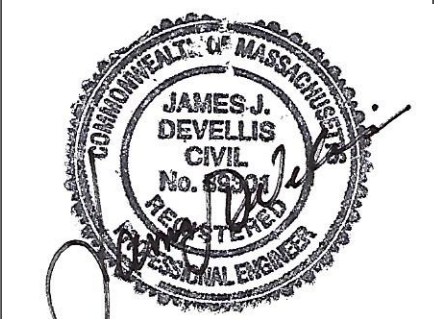


LAYOUT AND MATERIAL NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY JACOB DRISCOLLOF NORTH EASTON,MA AND IS DATED 16 SEPTEMBER 2016.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL NOTIFY DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR(S) SHALL THOROUGHLY FAMILIARIZE THEMSELVES WITH ALL CONSTRUCTION DOCUMENTS, SPECIFICATIONS, AND SITE CONDITIONS PRIOR TO BIDDING AND PRIOR TO CONSTRUCTION.
- ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IMMEDIATELY TO THE OWNER'S REPRESENTATIVE FOR CLARIFICATION AND RESOLUTION PRIOR TO BIDDING OR CONSTRUCTION.
- ALL WORK CONDUCTED WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF SHARON.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND ALL DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, UTILITY ENTRANCE LOCATIONS, WALL PACKS, CONCRETE DOOR PADS, ROOF DRAINS, ETC.
- ACCESSIBLE CURB RAMPS SHALL BE PER THE MASSACHUSETTS ARCHITECTURAL ACCESS BOARD (AAB) AND THE AMERICANS WITH DISABILITIES ACT (ADA) ACCESSIBILITY GUIDELINES, WHICHEVER IS MORE STRINGENT.
- THE FOLLOWING LAYOUT CRITERIA SHALL CONTROL UNLESS OTHERWISE NOTED ON THE PLAN:
ALL DIMENSIONS ARE TO OUTSIDE FACE OF BUILDING.
ALL DIMENSIONS ARE TO FACE OF CURB AT GUTTER LINE.
ALL DIMENSIONS ARE TO CENTER OF PAVEMENT MARKINGS.
ALL TIES TO PROPERTY LINES ARE PERPENDICULAR TO THE PROPERTY LINE UNLESS OTHERWISE NOTED.
- FOR LAYOUT AND DIMENSIONING OF BUILDINGS, SEE ARCHITECTURAL DRAWINGS.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

LEGEND

---	PROPERTY LINE
●	SITE LIGHTING
VGC	VERTICAL GRANITE CURB
ICC	INTREGRAL CONCRETE CURB
D R	DUMPSTER PAD AND RECYCLING
G	GENERATOR
C	CONDENSOR



REVISIONS

ISSUED FOR PERMIT 3/25/20
LAYOUT AND MATERIAL
PLAN

3/25/20

C.100

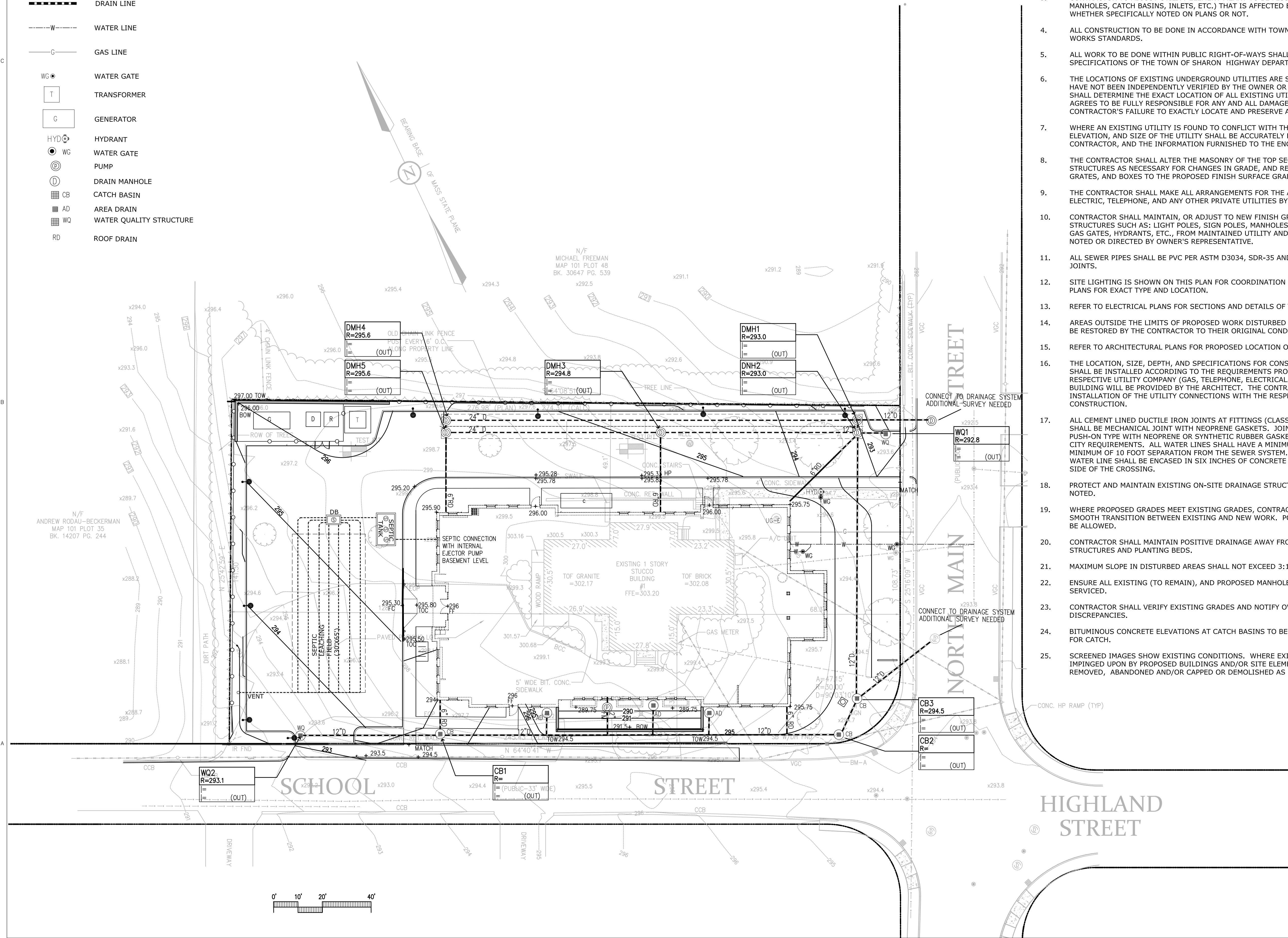
GRADING AND UTILITY LEGEND

- PROPERTY LINE
- SEWER LINE
- DRAIN LINE
- W----- WATER LINE
- G----- GAS LINE
- WG ● WATER GATE
- T TRANSFORMER
- G GENERATOR
- HYD ● HYDRANT
- WG ● WATER GATE
- ⊙ PUMP
- ⊙ DRAIN MANHOLE
- CB CATCH BASIN
- AD AREA DRAIN
- WQ WATER QUALITY STRUCTURE
- RD ROOF DRAIN

C

B

A



GRADING AND UTILITY NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY JACOB DRISCOLL OF , NORTH EASTON, MA AND IS DATED 16 SEPTEMBER 2016.
- PRIOR TO THE START OF ANY EXCAVATION FOR THE PROJECT, BOTH ON AND OFF THE SITE, THE CONTRACTOR SHALL NOTIFY DIGSAFE AND BE PROVIDED WITH A DIGSAFE NUMBER INDICATING THAT ALL EXISTING UTILITIES HAVE BEEN LOCATED AND MARKED.
- CONTRACTOR TO ADJUST UTILITY ELEMENT MEANT TO BE FLUSH WITH GRADE (CLEAN-OUTS, UTILITY MANHOLES, CATCH BASINS, INLETS, ETC.) THAT IS AFFECTED BY SITE WORK OR GRADE CHANGES, WHETHER SPECIFICALLY NOTED ON PLANS OR NOT.
- ALL CONSTRUCTION TO BE DONE IN ACCORDANCE WITH TOWN OF SHARON DEPARTMENT OF PUBLIC WORKS STANDARDS.
- ALL WORK TO BE DONE WITHIN PUBLIC RIGHT-OF-WAYS SHALL CONFORM TO THE REQUIREMENTS AND SPECIFICATIONS OF THE TOWN OF SHARON HIGHWAY DEPARTMENT.
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ALL UNDERGROUND UTILITIES.
- WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR, AND THE INFORMATION FURNISHED TO THE ENGINEER FOR RESOLUTION OF THE CONFLICT.
- THE CONTRACTOR SHALL ALTER THE MASONRY OF THE TOP SECTION OF ALL EXISTING DRAINAGE STRUCTURES AS NECESSARY FOR CHANGES IN GRADE, AND RESET ALL WATER AND DRAINAGE FRAMES, GRATES, AND BOXES TO THE PROPOSED FINISH SURFACE GRADE.
- THE CONTRACTOR SHALL MAKE ALL ARRANGEMENTS FOR THE ALTERATION AND ADJUSTMENT OF ALL GAS, ELECTRIC, TELEPHONE, AND ANY OTHER PRIVATE UTILITIES BY THE UTILITY COMPANIES.
- CONTRACTOR SHALL MAINTAIN, OR ADJUST TO NEW FINISH GRADE, AS NECESSARY ALL UTILITY AND SITE STRUCTURES SUCH AS: LIGHT POLES, SIGN POLES, MANHOLES, CATCH BASINS, HAND HOLES, WATER AND GAS GATES, HYDRANTS, ETC., FROM MAINTAINED UTILITY AND SITE SYSTEMS, UNLESS OTHERWISE NOTED OR DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL SEWER PIPES SHALL BE PVC PER ASTM D3034, SDR-35 AND ASTM D1784 WITH RUBBER GASKET JOINTS.
- SITE LIGHTING IS SHOWN ON THIS PLAN FOR COORDINATION PURPOSES ONLY. REFER TO ELECTRICAL PLANS FOR EXACT TYPE AND LOCATION.
- REFER TO ELECTRICAL PLANS FOR SECTIONS AND DETAILS OF THE UTILITY DUCT BANK.
- AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION, AT THE CONTRACTOR'S EXPENSE.
- REFER TO ARCHITECTURAL PLANS FOR PROPOSED LOCATION OF UTILITY SERVICE STUBS AT BUILDING.
- THE LOCATION, SIZE, DEPTH, AND SPECIFICATIONS FOR CONSTRUCTION OF PRIVATE UTILITY SERVICES SHALL BE INSTALLED ACCORDING TO THE REQUIREMENTS PROVIDED BY, AND APPROVED BY, THE RESPECTIVE UTILITY COMPANY (GAS, TELEPHONE, ELECTRICAL.) FINAL DESIGN AND LOCATIONS AT THE BUILDING WILL BE PROVIDED BY THE ARCHITECT. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE UTILITY CONNECTIONS WITH THE RESPECTIVE COMPANIES PRIOR TO ANY UTILITY CONSTRUCTION.
- ALL CEMENT LINED DUCTILE IRON JOINTS AT FITTINGS (CLASS 52,) VALVES, AND HYDRANT LATERALS SHALL BE MECHANICAL JOINT WITH NEOPRENE GASKETS. JOINTS AT OTHER LOCATIONS SHALL BE PUSH-ON TYPE WITH NEOPRENE OR SYNTHETIC RUBBER GASKETS. ALL WATER GATES SHALL OPEN AS PER CITY REQUIREMENTS. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.0 FEET OF GROUND COVER AND A MINIMUM OF 10 FOOT SEPARATION FROM THE SEWER SYSTEM. AT WATER AND SEWER CROSSINGS, THE WATER LINE SHALL BE ENCASED IN SIX INCHES OF CONCRETE FOR A DISTANCE OF 10 FEET ON EITHER SIDE OF THE CROSSING.
- PROTECT AND MAINTAIN EXISTING ON-SITE DRAINAGE STRUCTURES AND PIPES UNLESS OTHERWISE NOTED.
- WHERE PROPOSED GRADES MEET EXISTING GRADES, CONTRACTOR SHALL BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING AND NEW WORK. PONDING AT TRANSITION AREAS WILL NOT BE ALLOWED.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES AND PLANTING BEDS.
- MAXIMUM SLOPE IN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- ENSURE ALL EXISTING (TO REMAIN), AND PROPOSED MANHOLE COVERS PROPERLY IDENTIFY UTILITY SERVICED.
- CONTRACTOR SHALL VERIFY EXISTING GRADES AND NOTIFY OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
- BITUMINOUS CONCRETE ELEVATIONS AT CATCH BASINS TO BE 1/4 INCH ABOVE RIM ELEVATION SHOWN FOR CATCH.
- SCREENED IMAGES SHOW EXISTING CONDITIONS. WHERE EXISTING CONDITIONS LIE UNDER OR ARE IMPINGED UPON BY PROPOSED BUILDINGS AND/OR SITE ELEMENTS, THE EXISTING CONDITION WILL BE REMOVED, ABANDONED AND/OR CAPPED OR DEMOLISHED AS REQUIRED.

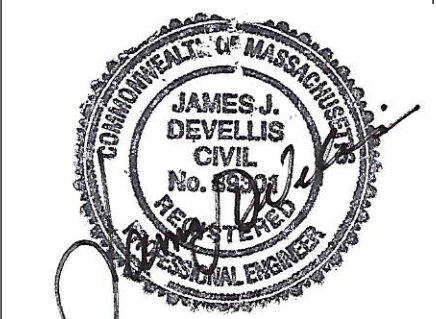
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GENERAL NOTES

- THIS PLAN IS FOR THE DESIGN AND INSTALLATION OF A DISPOSAL SYSTEM TO BE IN ACCORDANCE WITH MASSACHUSETTS TITLE V AND THE TOWN OF SHARON B.O.H. REGULATIONS.
- DISPOSAL SYSTEM IS NOT DESIGNED FOR GARBAGE GRINDERS.
- THE SEPTIC TANK SHALL BE A TWO COMPARTMENT PRECAST CONCRETE TANK. THE FIRST COMPARTMENT HAVING A LIQUID CAPACITY OF 2,000 GALS AND THE SECOND COMPARTMENT HAVING A LIQUID CAPACITY OF 1,000 GALS AND DESIGNED FOR HS20-44 LOADING.
- DISPOSAL SYSTEM SHALL BE VENTED ACCORDING TO 310 CMR SECTION 15.241
- ALL LOAM, LARGE BOULDERS, AND ANY OTHER DELETERIOUS MATERIALS ENCOUNTERED DURING EXCAVATION TO BE REMOVED FROM THE LEACHING AREA. EXCAVATED AREAS SHALL BE BACKFILLED AS NOTED BELOW.
- THE AREA FOR THE LEACHING FACILITY SHALL BE EXCAVATED TO AN ELEVATION BELOW SUBSOIL OR IMPERVIOUS MATERIAL . THE EXCAVATED AREA SHALL BE BACKFILLED AND COMPACTED WITH SAND AND GRAVEL FREE OF SILT CLAY, FINES, LARGE COBBLES, STUMPS, FROZEN EARTH, OR OTHER DELETERIOUS MATERIALS. THE FINISHED GRADE OVER THE LEACHING AREA SHALL HAVE A MIN. SLOPE OF 2% . THE BACKFILL MATERIAL SHALL HAVE A PERCOLATION RATE OF LESS THAN 2 MIN. PER INCH, COMPACTED IN PLACE, AND SHALL CONFORM TO THE LATEST FILL SPECIFICATIONS OF 310 CMR 15.255 AND THE TOWN OF WESTON IN EFFECT ON THE DATE OF CONSTRUCTION.
- ALL NATURAL SOIL (OR FILL) SHALL BE RAKED PRIOR TO PLACEMENT OF SEPTIC STONE OR BACKFILL.
- EXISTING CONDITIONS INFORMATION JACOB DRISCOLL ENGINEERING AND DATED 16 SEPTEMBER 2019.

TEST PIT (DTH-1)

ELEV.= 298'±

SOIL HORIZON	SOIL TEXTURE	SOIL COLOR (MUNSELL)	SOIL MOTTLING
0			
3"	A _p	SL	10yr 3/2
12"	B _w	SL	10yr 5/8
	C1	SL	2.5yr 6/3
			NONE

BOTTOM OF TEST PIT
NO REFUSAL AND
NO WATER OBSERVED

PERC RATE @ 48" = 2 MIN/INCH

NOTE: TEST PIT DTH-1 AND PERCOLATION TEST PT-1 WERE PERFORMED ON JANUARY 22, 2020 BY SOIL EVALUATOR JAMES J. DEVELLIS OF DEVELLIS ZREIN, INC. AND WITNESSED BY KEVIN DAVIS OF THE SHARON BOARD OF HEALTH

Soil Log DZI-1

TEST PIT (DZI-2)

ELEV.= 294'±

SOIL HORIZON	SOIL TEXTURE	SOIL COLOR (MUNSELL)	SOIL MOTTLING
0			
10"	A _p	SL	10yr 3/2
24"	B _w	SL	10yr 5/8
	C1	SL	2.5yr 6/3
			NONE

BOTTOM OF TEST PIT
NO REFUSAL AND
NO WATER OBSERVED

PERC RATE @ 46" = 2 MIN/INCH

NOTE: TEST PIT DTH-1 AND PERCOLATION TEST PT-2 WERE PERFORMED ON JANUARY 22, 2020 BY SOIL EVALUATOR JAMES J. DEVELLIS OF DEVELLIS ZREIN, INC. AND WITNESSED BY KEVIN DAVIS OF THE SHARON BOARD OF HEALTH

Soil Log DZI-1

Maintenance Notes

SEPTIC TANK:

1. PUMPING OF THE SEPTIC TANK IS REQUIRED WHENEVER THE TOP OF THE SLUDGE OR SOLIDS LAYER IS WITHIN 12 INCHES OR LESS OF THE BOTTOM OF THE OUTLET TEE OR THE TOP OF THE SCUM LAYER IS WITHIN 2 INCHES OF THE BOTTOM OF THE OUTLET TEE. PUMPING IS RECOMMENDED AT LEAST ONCE EVERY YEAR. THE EFFLUENT FILTER REQUIRES CLEANING WHEN THE SEPTIC TANK IS NORMALLY INSPECTED AND PUMPED.

Existing System

THE EXISTING SYSTEM LOCATED INB THE NORTHEAST CORNER OF THE LOT IS TO BE REMOVED IN ACCORDANCE WITH THE SHARON BOARD OF HEALTH DIRECTION.

Design Calculations

TOTAL OCCUPANCY OF THE LIBRARY INCLUDING CONFERENCE ROOM = 427 PEOPLE

USE 3 GPD / PERSON FOR FULLY OCCUPIED BUILDING
TOTAL DESIGN FLOW = 3 GPD X 427 PEOPLE = 1,281 GPD

DESIGN CRITERIA

DESIGN PERCOLATION RATE: 2 MINUTES PER INCH (MPI), HOWEVER USE 6 MPI TITLE V PER SHARON BOARD OF HEALTH REQUIREMENTS

DESIGN SOIL CLASSIFICATION: CLASS 1 LOAMY SAND (0.70 GPD/SQ FT)
ESTIMATED SEASONAL HIGH GROUNDWATER (ESHGW) > 120 INCHES (OR 12 FEET)

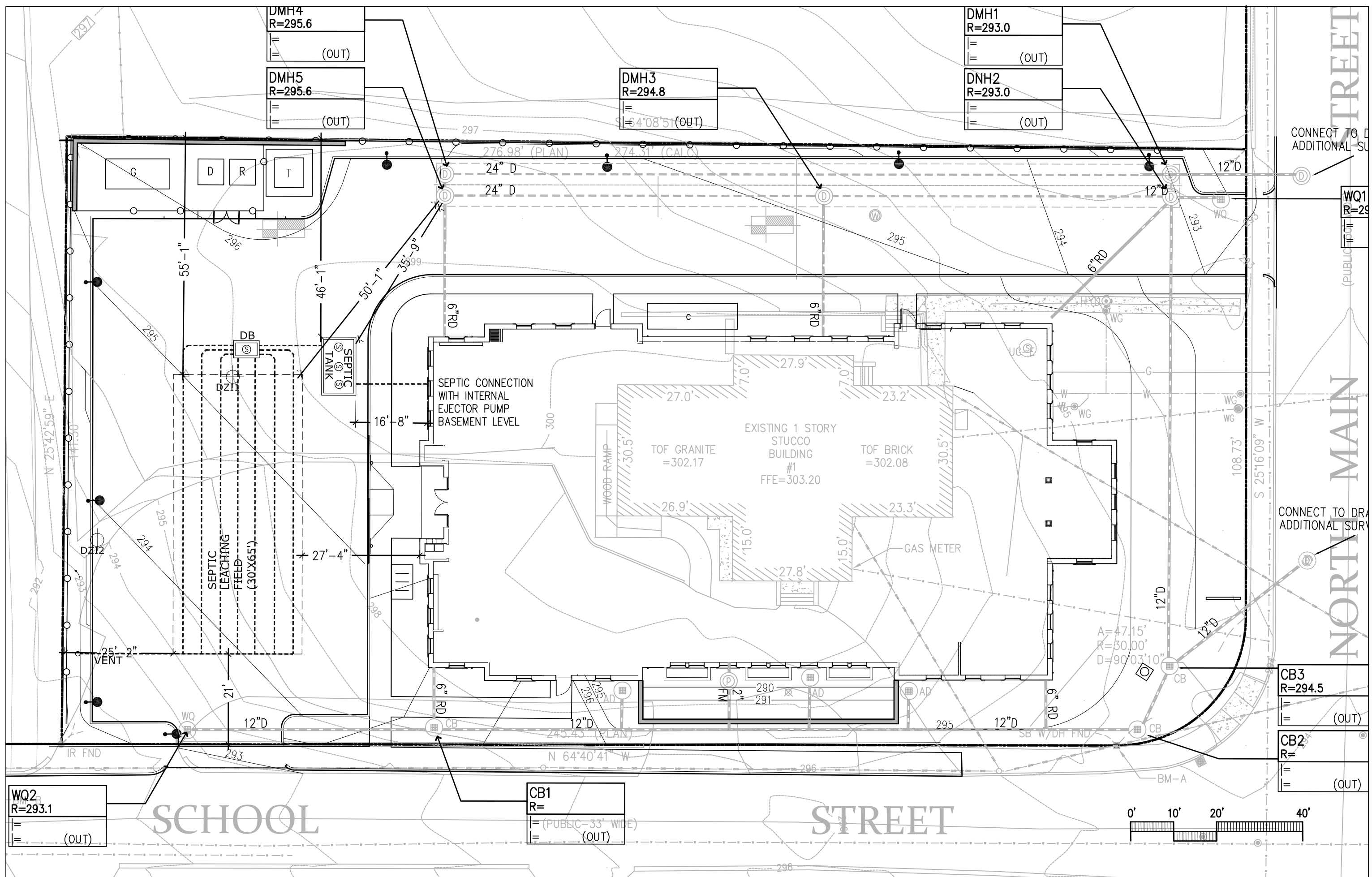
REQUIRED LEACHING BED

1,281 GPD / 0.70 GPD/SQ FT = 1,830 SQ FT LEACHING SURFACE

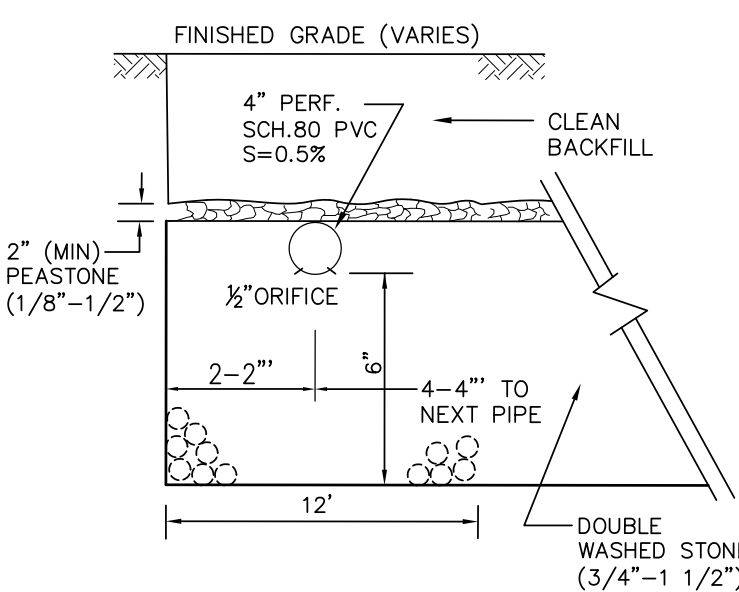
PROVIDE 4" PERFORATED PIPE IN LEACHING BED

EFFECTIVE LEACHING AREA = BOTOM SURFACE AREA ONLY

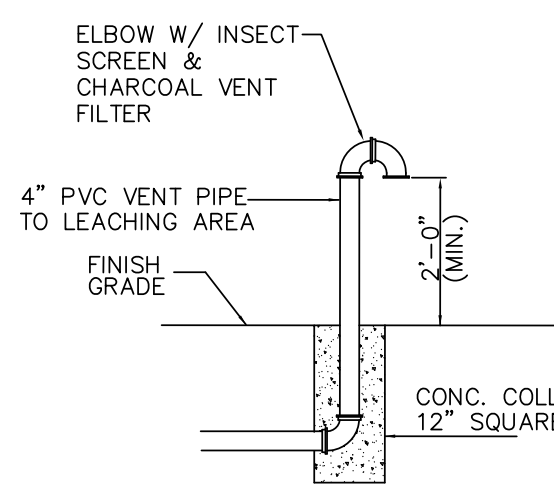
BOTTOM SURFACE AREA = 30' WIDE X 65' LONG = 1,950 SQ FT PROVIDED



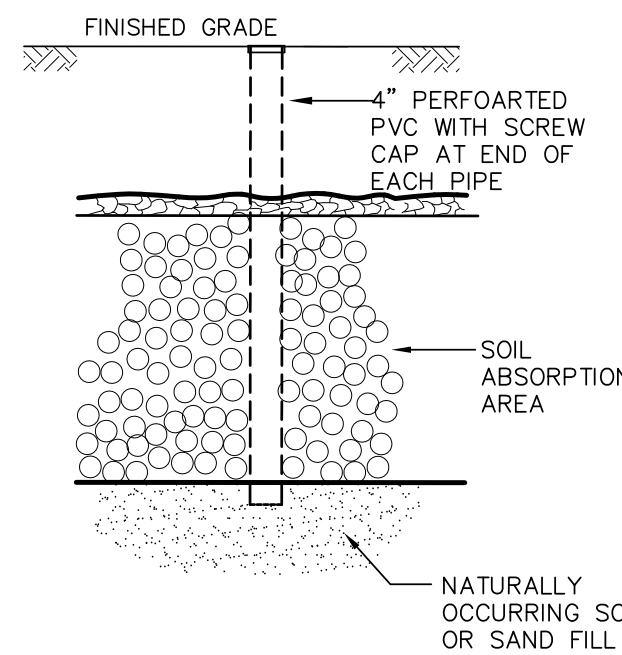
SEPTIC LAYOUT 20 SCALE



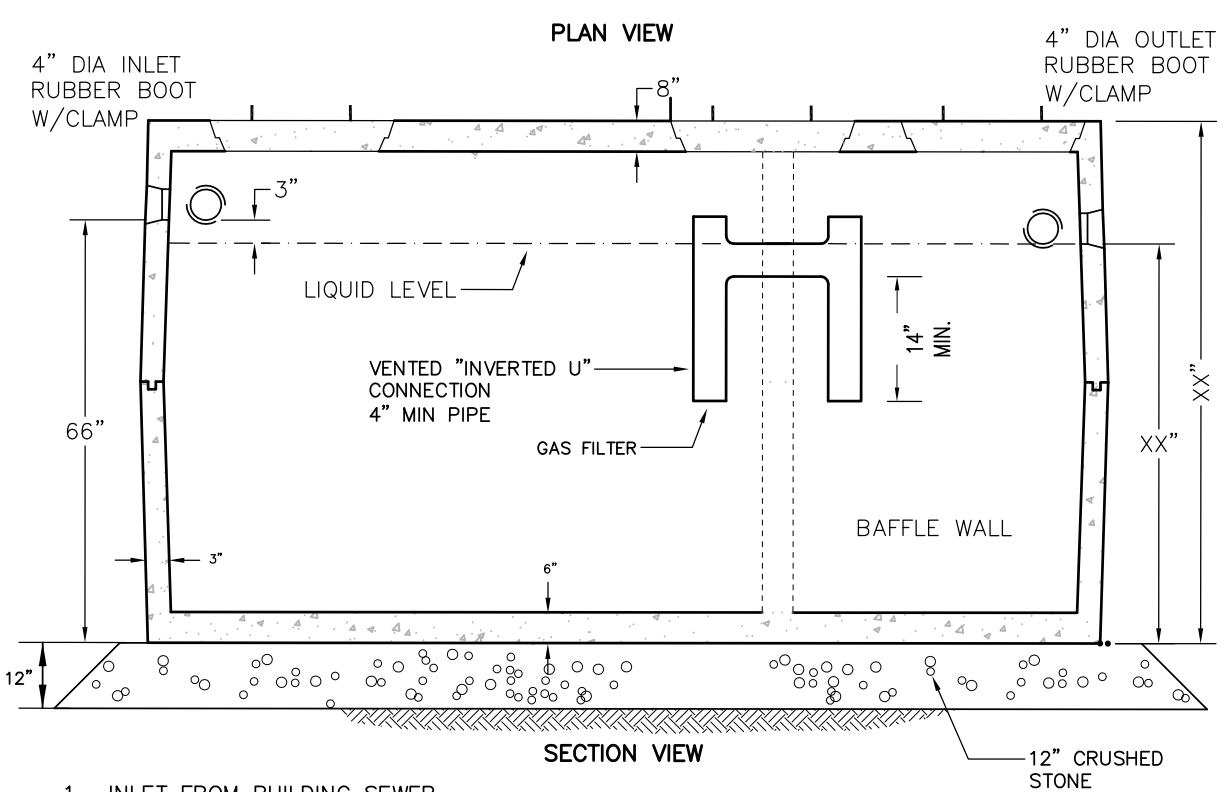
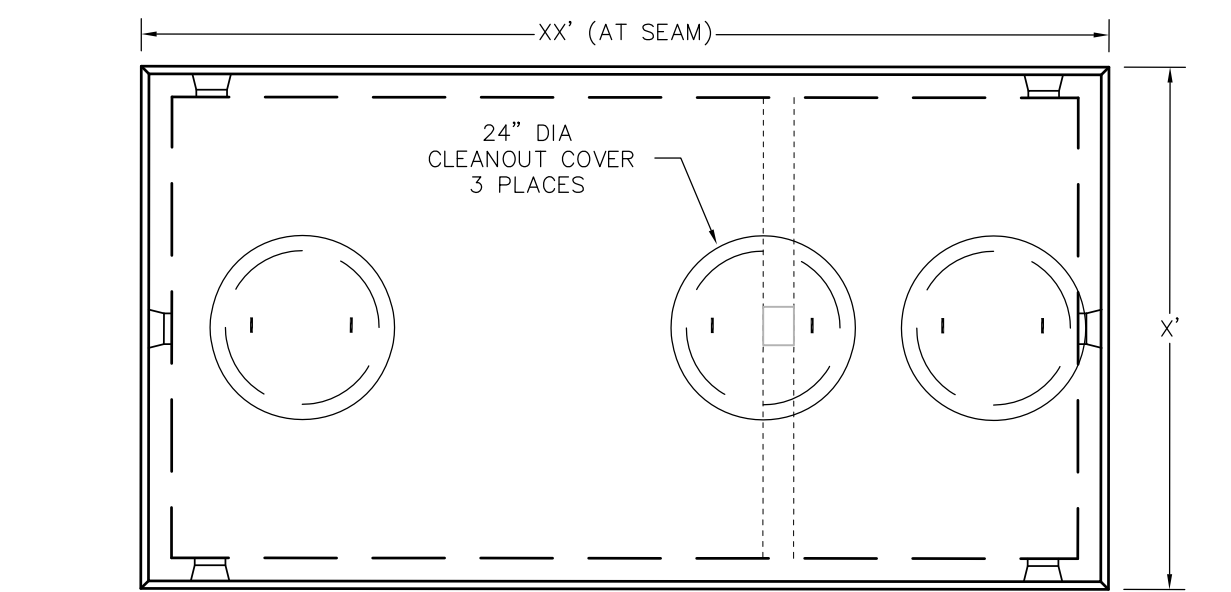
Leaching Field



Vent

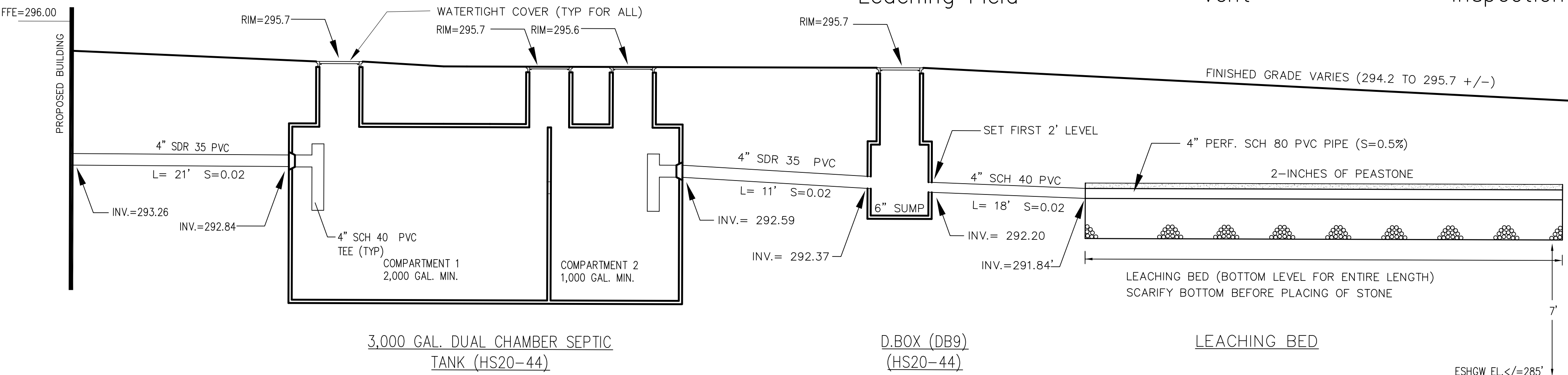


Inspection Port



- INLET FROM BUILDING SEWER.
- SEPTIC TANK SHALL BE EQUIPPED WITH A D.E.P. APPROVED EFFLUENT FILTER, SUCH AS ZABEL, POLYLOK OR OTHER APPROVED EQUAL.
- ALL MANHOLE FRAMES AND COVERS SHALL BE ADJUSTED TO FINISH GRADE WITH COURSES OF BRICK AND MORTAR.

Septic Tank (3,000 Gallons)



SEPTIC SYSTEM SCHEMATIC PROFILE

LLB ARCHITECTS

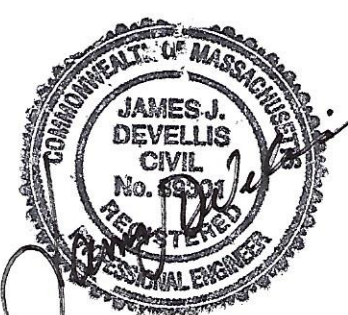
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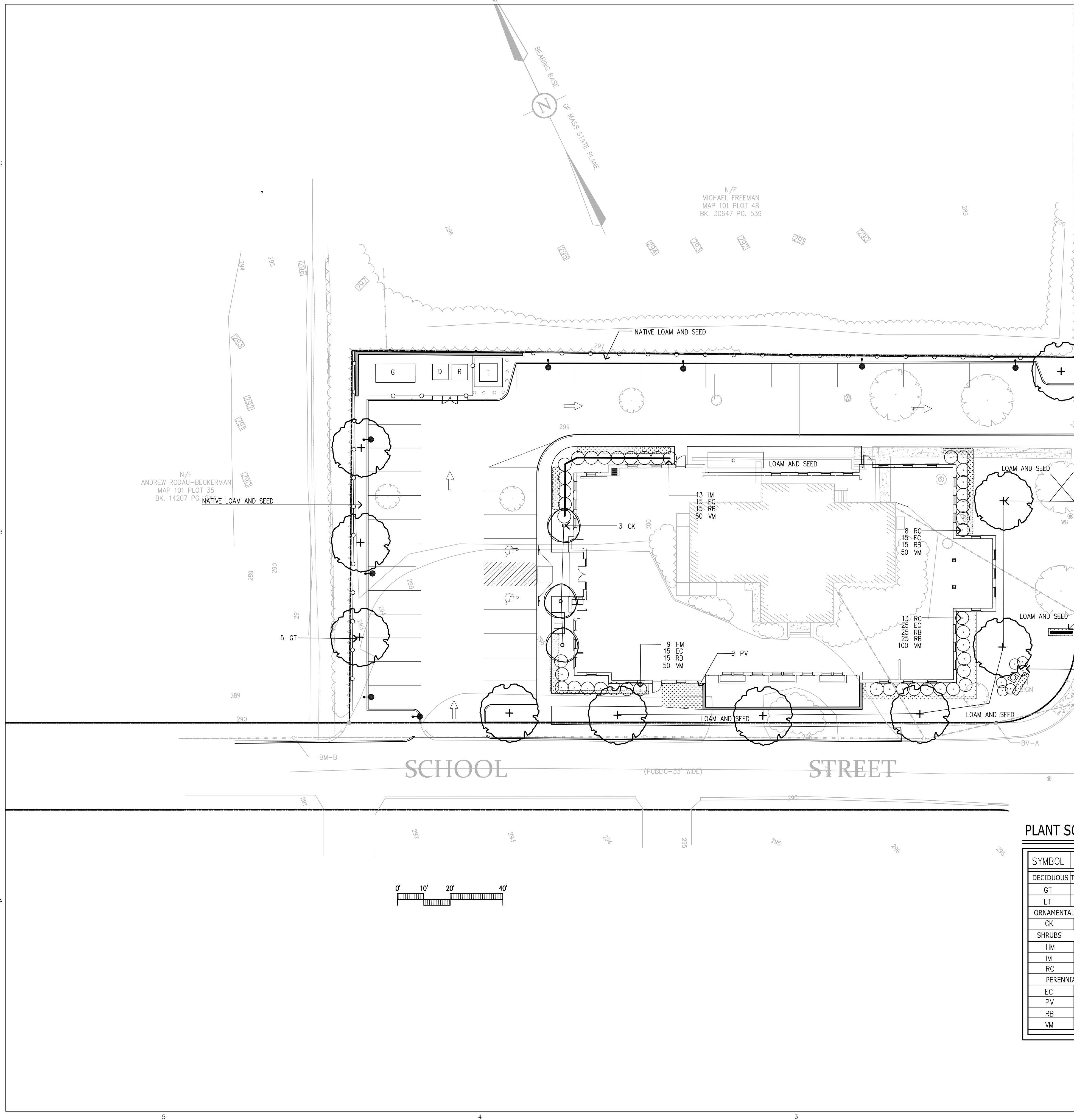


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SEPTIC SYSTEM
PLAN AND DETAILS

3/25/20

C.300



PLANTING NOTES

- EXISTING CONDITIONS INFORMATION IS REPRODUCED FROM THE SURVEY PREPARED BY JACOB DRISCOLL OF NORTH EASTON, MA, DATED 16 SEPTEMBER 2016.
- THE LOCATIONS OF UNDERGROUND UTILITIES SHOWN ARE BASED ON THE SURVEY REFERENCED ABOVE. THE CONTRACTOR SHALL CONTACT DIGSAFE AND THE PROPER LOCAL AUTHORITIES OR RESPECTIVE UTILITY COMPANIES TO CONFIRM THE LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. ANY DAMAGE DUE TO FAILURE OF THE CONTRACTOR TO CONTACT THE PROPER AUTHORITIES SHALL BE BORNE BY THE CONTRACTOR.
- CONTRACTOR SHALL BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND WILL CONTINUE UNTIL FINAL WRITTEN ACCEPTANCE OF PLANT MATERIAL.
- LANDSCAPE ARCHITECT TO FLAG ALL TREES TO BE TRANSPLANTED PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL VERIFY ALL TREE REMOVALS AND/OR TRANSPLANTS WITH OWNER'S REPRESENTATIVE PRIOR TO CONSTRUCTION START.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING FOUNDATIONS, STRUCTURES, AND PLANTING BEDS.
- MAXIMUM SLOPE WITHIN DISTURBED AREAS SHALL NOT EXCEED 3:1, UNLESS OTHERWISE NOTED.
- THE LANDSCAPE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE ALL PLANTINGS SHOWN ON THIS DRAWING.
- ALL MATERIALS SHALL CONFORM TO THE GUIDELINES ESTABLISHED BY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
- ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISH GRADE AS TO ORIGINAL GRADES BEFORE DIGGING.
- ALL PLANTS TO BE BALLED IN BURLAP OR CONTAINERIZED.
- MULCH FOR PLANTED AREAS TO BE AGED PINE BARK: PARTIALLY DECOMPOSED, DARK BROWN IN COLOR AND FREE OF WOOD CHIPS THICKER THAN 1/4 INCH.
- PLANTING SOIL MIX: LOAM THOROUGHLY INCORPORATED WITH ROTTED MANURE PROPORTIONED 5 C.Y. TO 1 C.Y. OR EQUIVALENT. FERTILIZER ADDED PER RECOMMENDED RATES OF SOILS ANALYSIS.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE (1) FULL YEAR FROM DATE OF ACCEPTANCE.
- ALL PLANT MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT, AT THE NURSERY, AND AT THE SITE.
- ALL AREAS OF THE SITE WHICH HAVE BEEN DISTURBED AND NOT OTHERWISE DEVELOPED SHALL BE LOAMED AND SEEDED WITH A MINIMUM DEPTH OF 6" DEPTH TOPSOIL.
- PLANT SPECIES AS INDICATED IN THE PLANT LIST ARE SUGGESTIONS ONLY. FINAL SELECTION OF SPECIES SHALL OCCUR AT THE TIME OF PLANT PURCHASE, DEPENDING ON AVAILABILITY. PLANT SIZE AND QUANTITY SHALL NOT CHANGE WITHOUT APPROVAL OF OWNER'S REPRESENTATIVE.

PLANTING LEGEND

- PROPERTY LINE
- GROUNDCOVER / PERENNIAL PLANTING
- SHRUB PLANTING
- ORNAMENTAL TREE
- EVERGREEN TREE
- DECIDUOUS TREE

PLANT SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY	SIZE	COMMENT
DECIDUOUS TREES					
GT	GLEDITSIA TRIACANTHOS 'INERMIS'	THORNLESS HONEYLOCUST	5	3 -3 1/2" CAL.	
LT	LIRIODENDRON TULIPIFERA	TULIP TREE	5	3 -3 1/2" CAL.	
ORNAMENTAL TREES					
CK	CORNUS KOUSA	DOGWOOD	3	6-7' HT.	CLUMP
SHRUBS					
HM	HYDRANGEA MACR. ENDLESS SUMMER	ENDLESS SUMMER HYDRANGEA	9	24-36" HT.	
IM	ILEX MESERVAE 'BLUE PRINCESS'	BLUE PRINCESS HOLLY	19	24-36" HT.	
RC	RHODODENDRON CHINOIDES	WHITE RHODODENDRON	21	24-36" HT.	
PERENNIALS, GROUNDCOVER AND ORNAMENTAL GRASSES					
EC	ECHINACEA BUTTERFLY KISSES	PINK CONE FLOWER	100	1 GAL.	
PV	PANICUM VIRGATUM	SWITCH GRASS	29	1 GAL.	
RB	RUDBECKIA 'GOLDSTRUM'	BLACK EYED SUSAN	125	1 GAL.	
VM	VINCA MINOR	COMMON MYRTLE	300	4" POTS	

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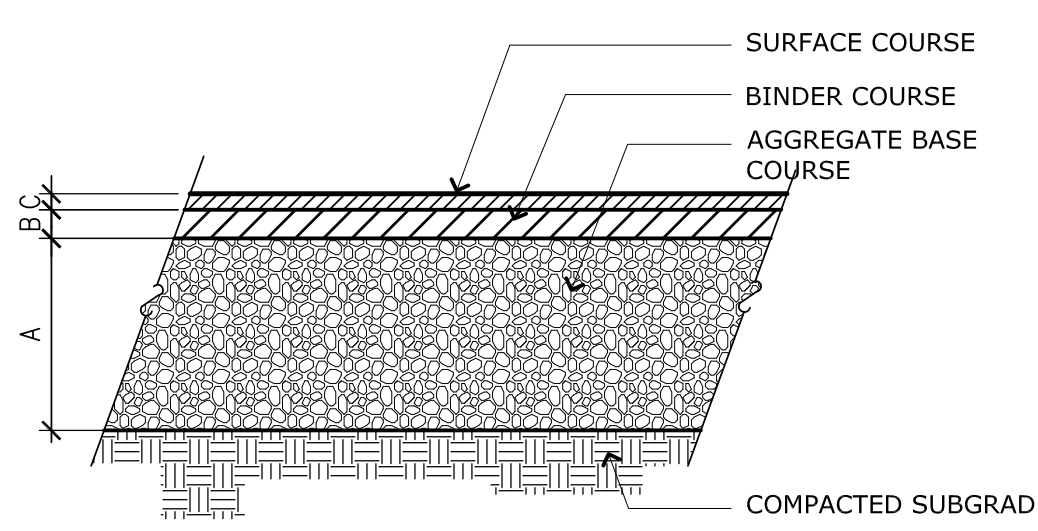
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BIT. CONCRETE WALK	A	B	C
BIT. CONCRETE DRIVE	6"	1 1/2"	1"
	12"	2 1/2"	1 1/2"

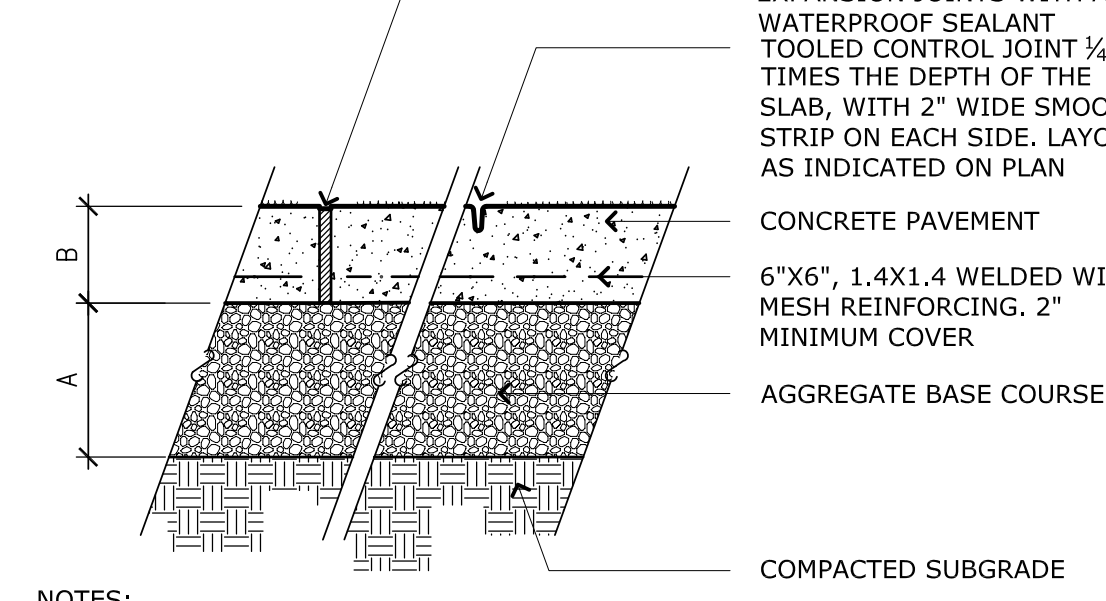
* SUBJECT TO FINAL GEOTECHNICAL APPROVAL.



1 BITUMINOUS CONCRETE PAVEMENT

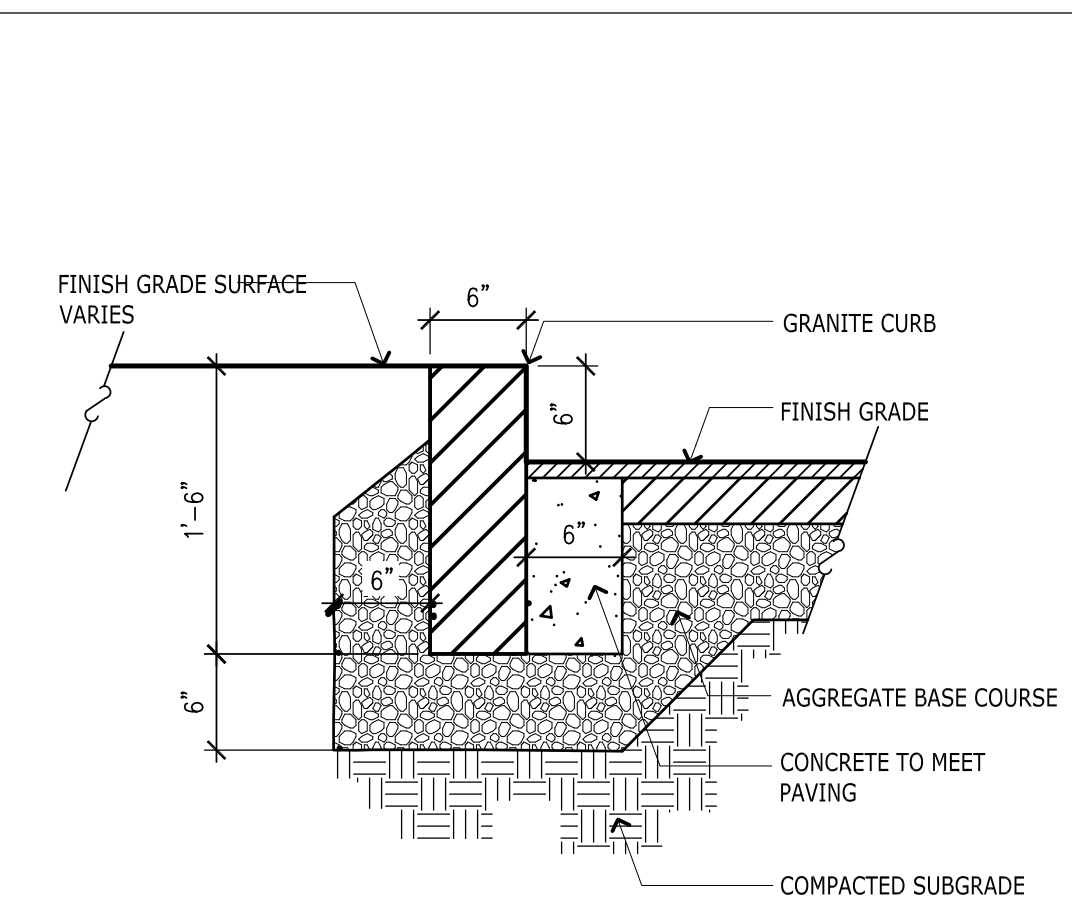
CONCRETE WALK AND PAD	A	B
HEAVY DUTY PVMT	6"	4"
GENERATOR PAD	12"	6"
AND DUMPSTER PAD		

*SUBJECT TO FINAL GEOTECHNICAL RECOMMENDATIONS

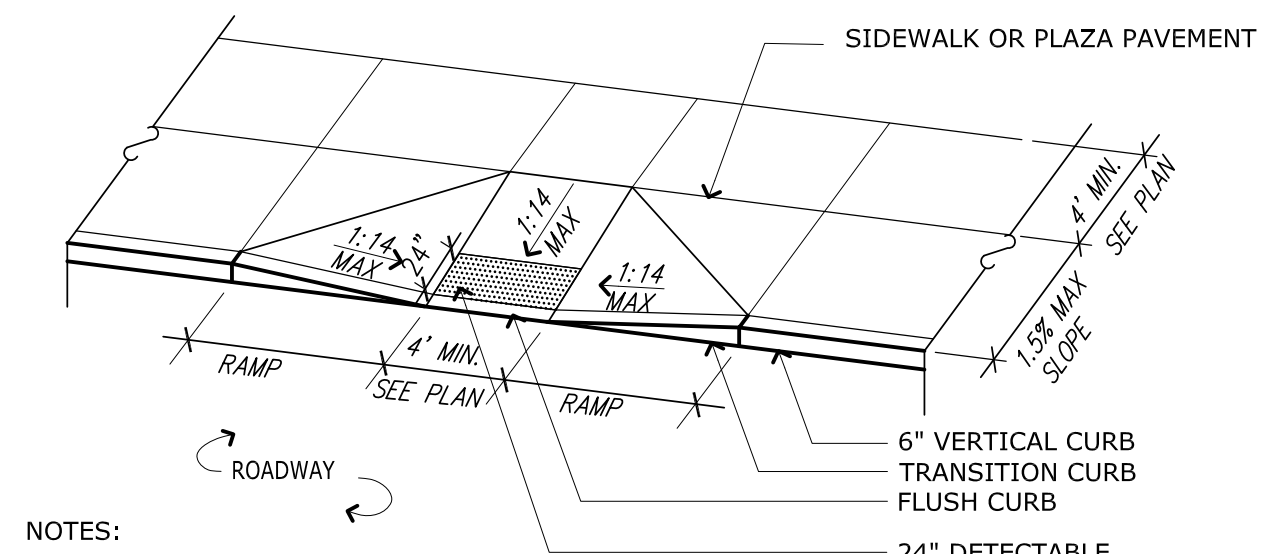


NOTES:
PROVIDE LIGHT BROOM FINISH PERPENDICULAR TO THE TRAFFIC FLOW UNLESS OTHERWISE NOTED

2 CEMENT CONCRETE PAVEMENT

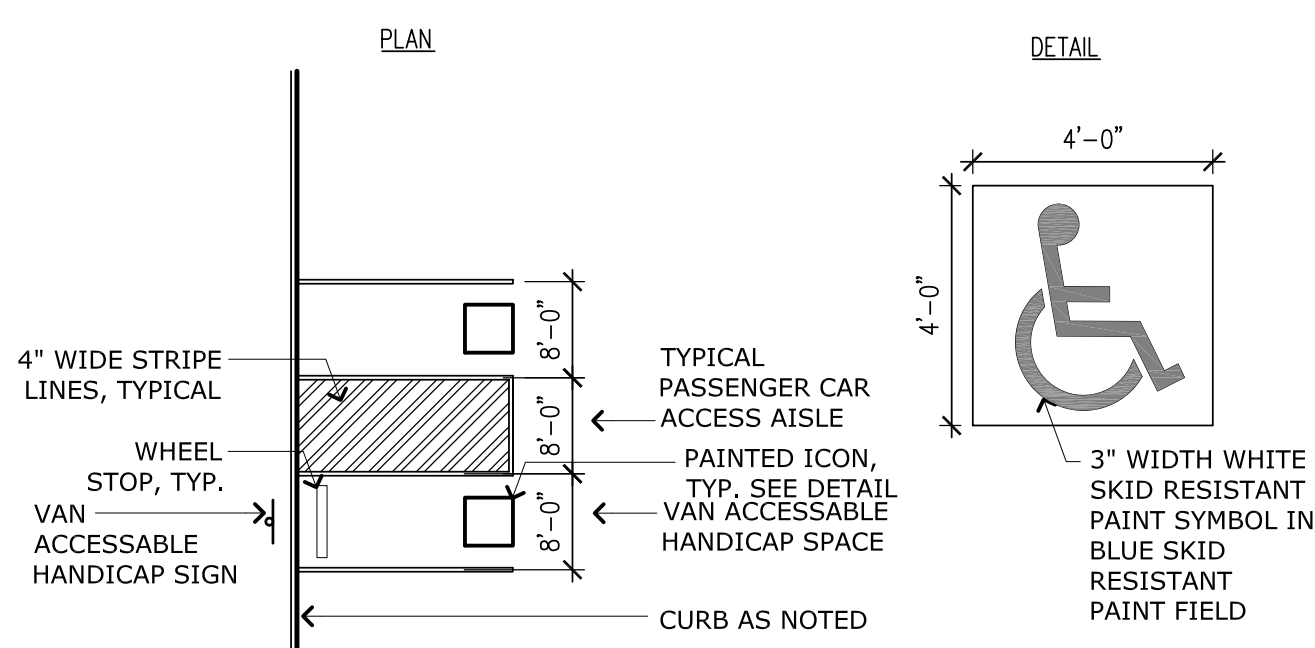


3 VERTICAL GRANITE CURB

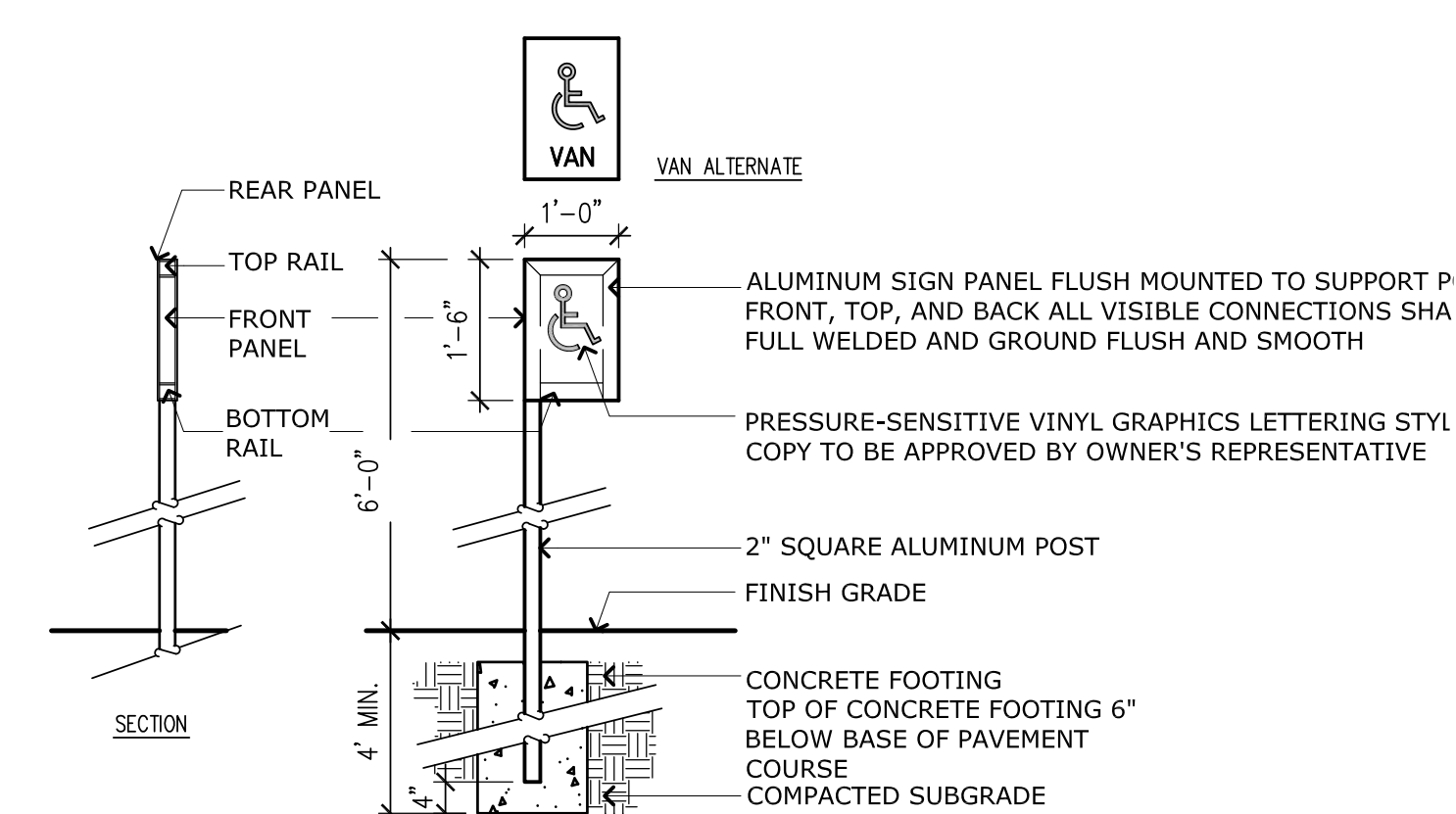


- NOTES:
1. RAMP CROSS SECTION TO BE THE SAME AS ADJACENT SIDEWALK, WALK, OR DRIVE.
 2. DEPTH OF SURFACE AND FOUNDATION.
 3. DIMENSIONS ARE SUBJECT TO CHANGE IN FIELD. ALL SLOPES AND DIMENSIONS TO COMPLY WITH A.D.A. AND MAAB REQUIREMENTS.
 4. PROVIDE EXPANSION JOINT AT TOPS OF RAMP AND AT BACK OF WALK AT INTERFACE OF CURB.
 5. PROVIDE HEAVY BROOM FINISH ON RAMP AND SIDE SLOPES PERPENDICULAR TO FLOW OF TRAFFIC.
 6. MINIMUM WALK DIMENSIONS ARE FROM BACK OF CURB.
 7. TRANSITION CURB LENGTH AS REQUIRED TO MEET CODE.
 8. FIXED OBJECTS (i.e. UTILITY POLES, HYDRANTS ETC.) MUST NOT ENCR OACH ON ANY PART OF A WHEELCHAIR RAMP, INCLUDING TRANSITION SLOPES.
 9. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP, EXCLUDING CURB TRANSITIONS, TO BE LOCATED OUTSIDE OF THE CROSSWALK.

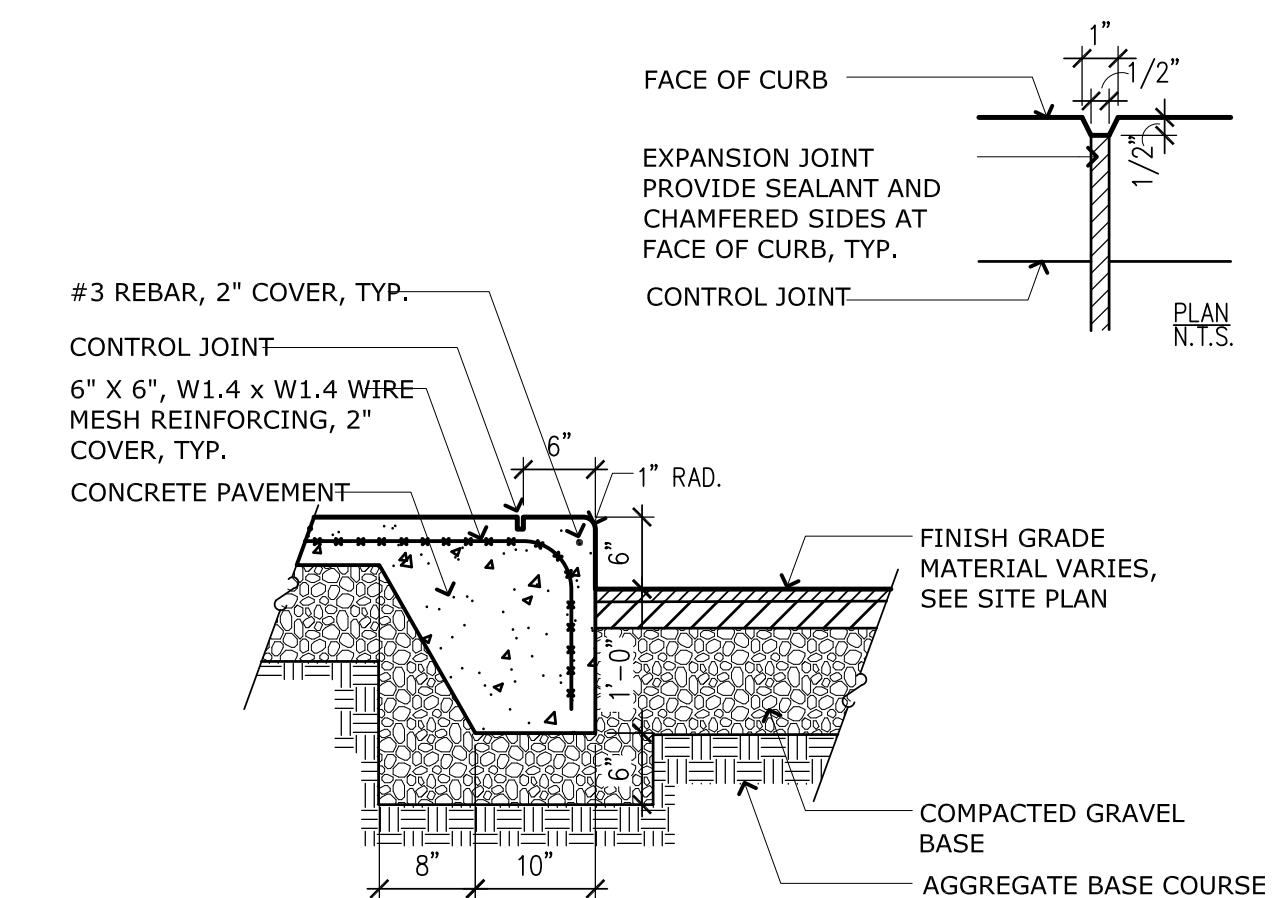
4 CURB CUT



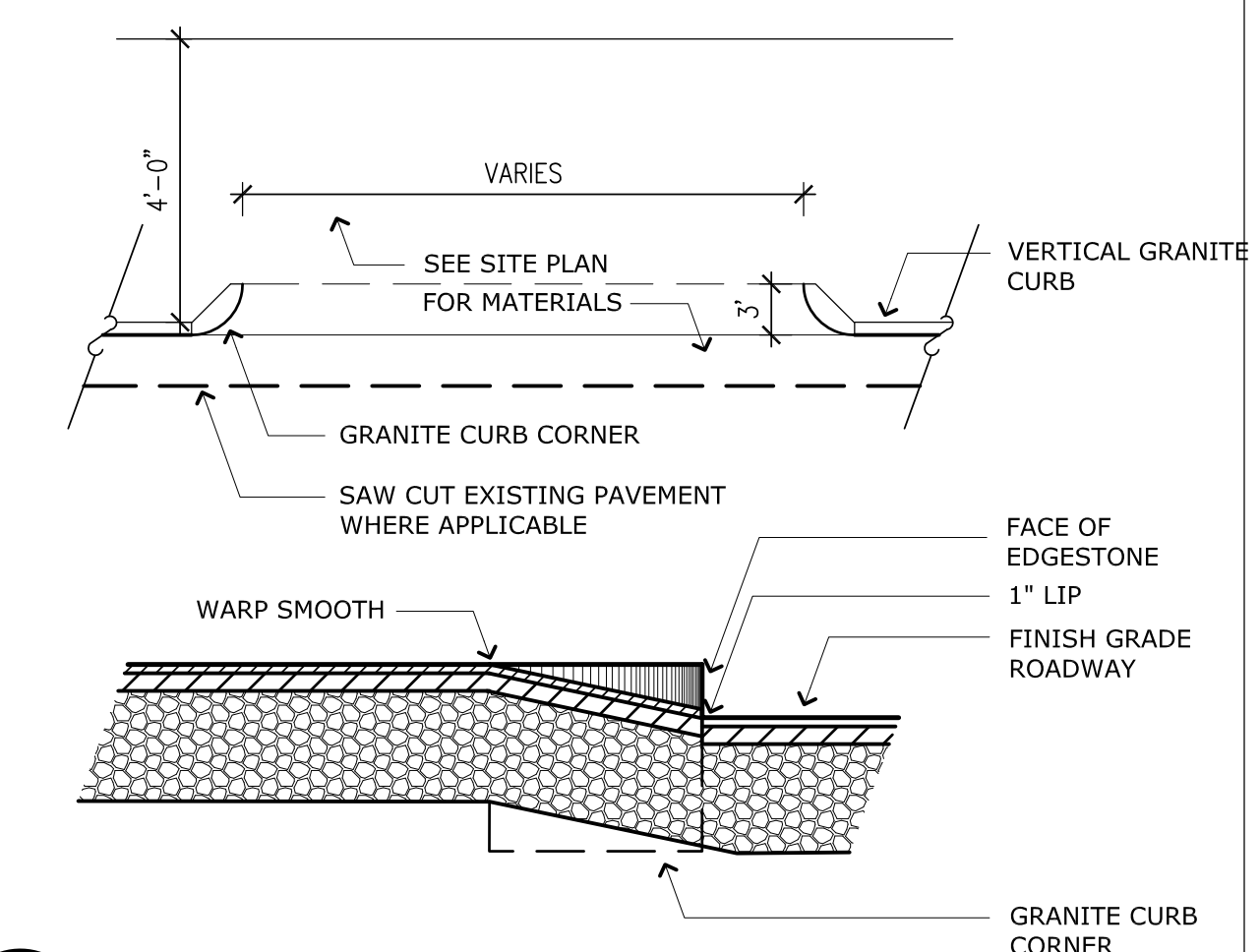
5 HANIDCAP PARKING LAYOUT



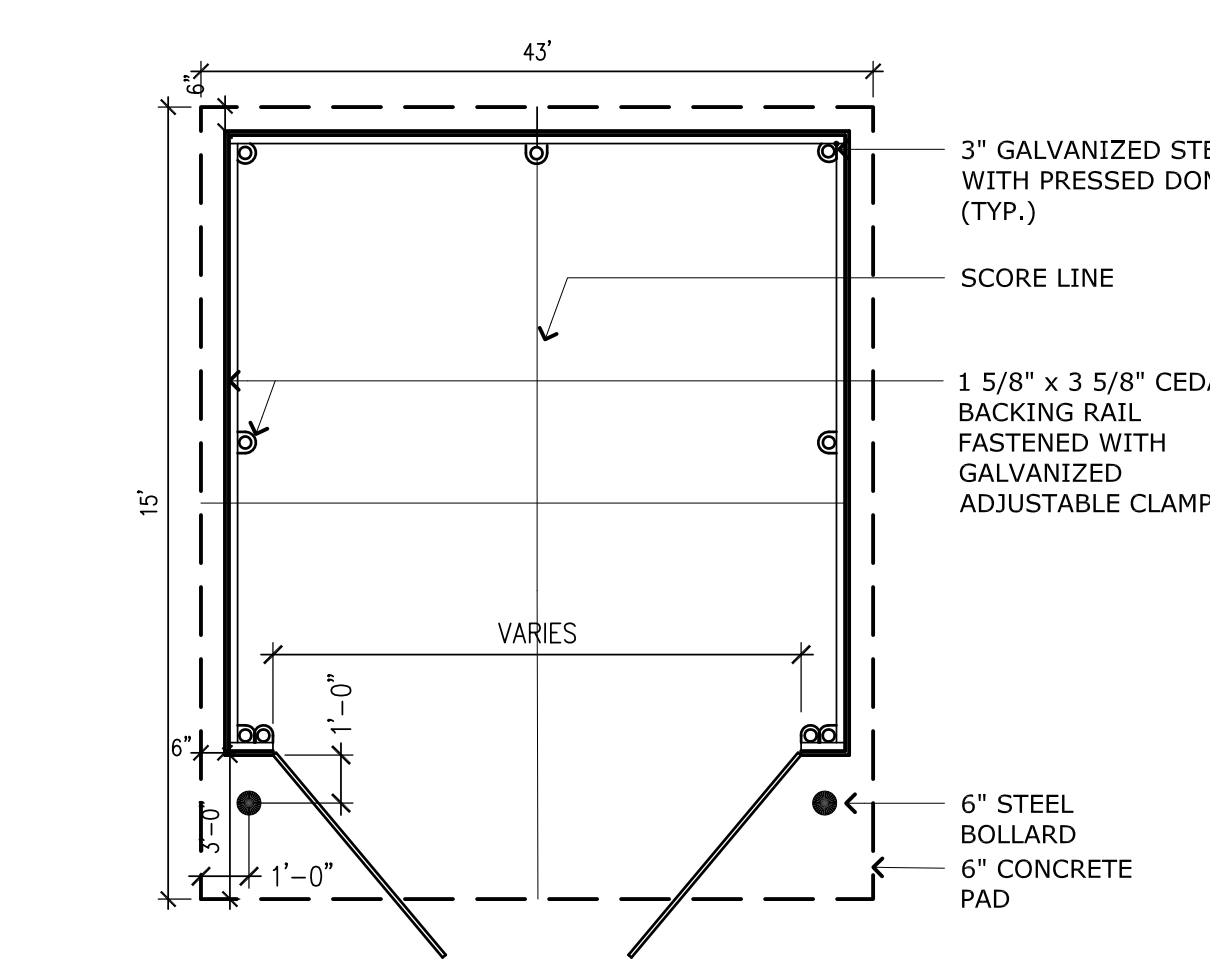
6 HANIDCAP PARKING SIGN



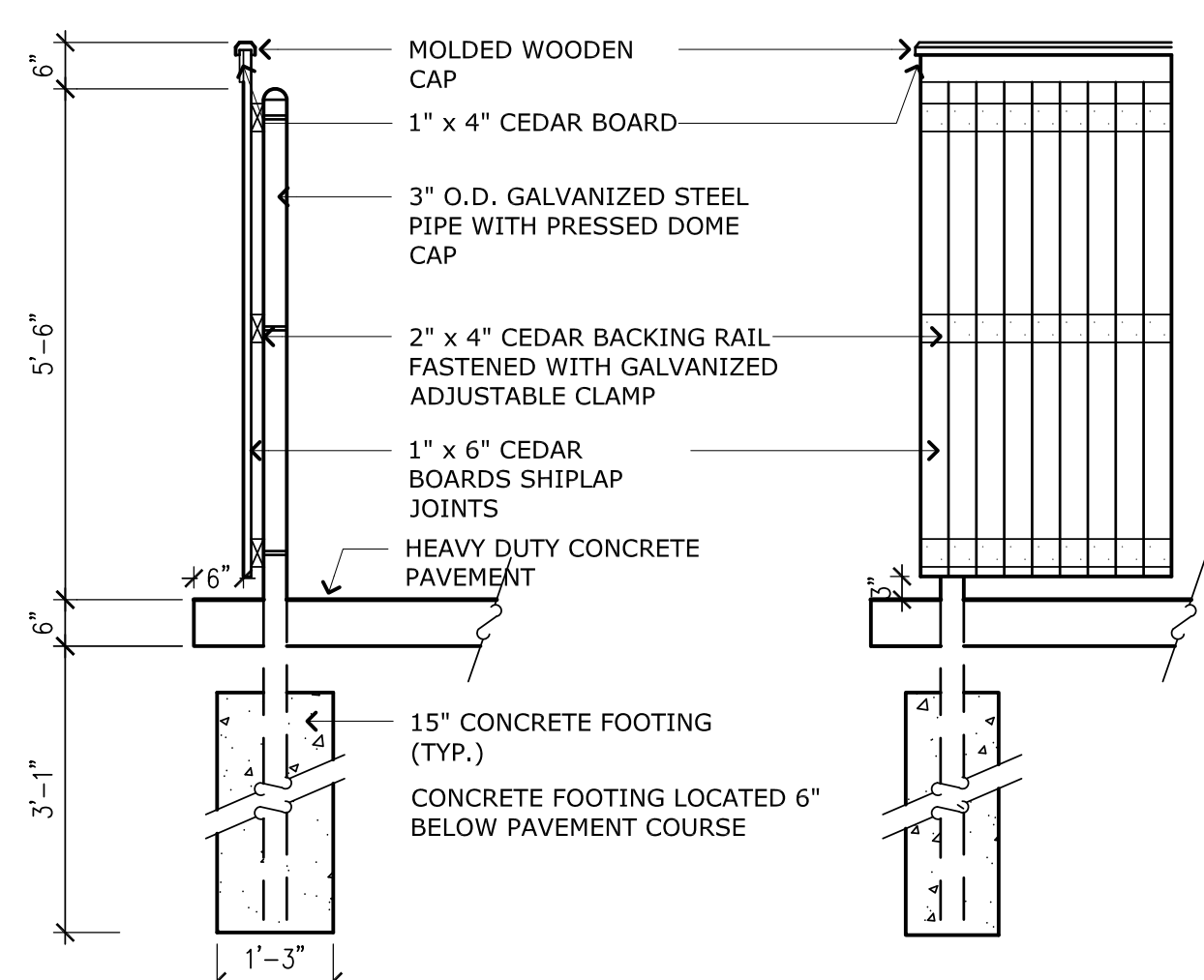
7 INTERGRAL CONCRETE CURB



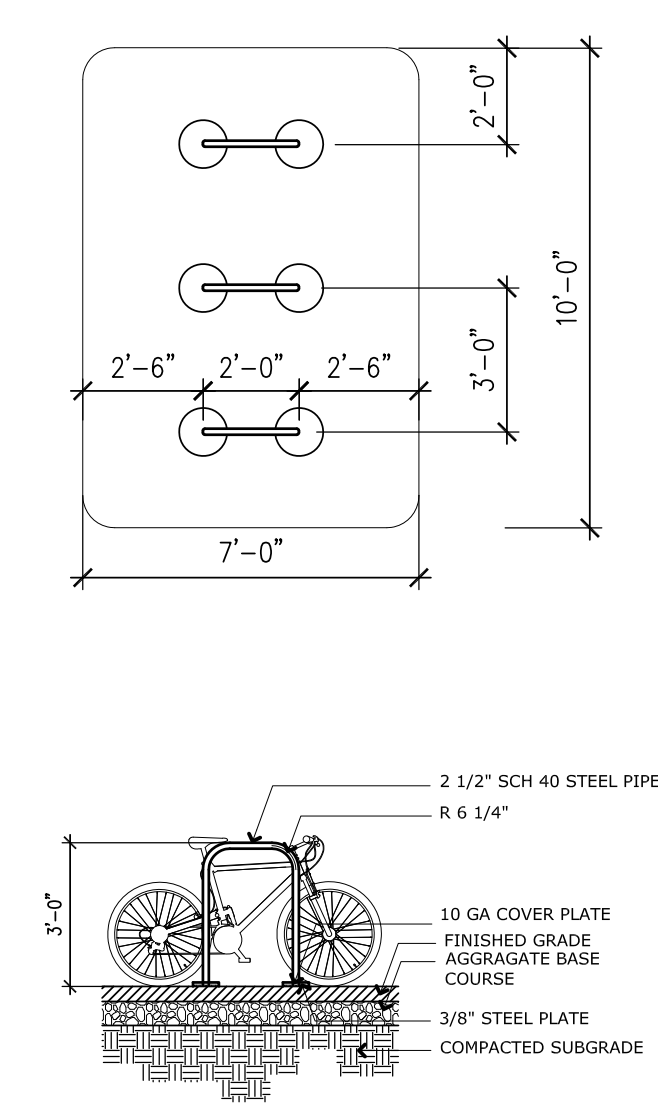
8 DRIVEWAY CURB CUT



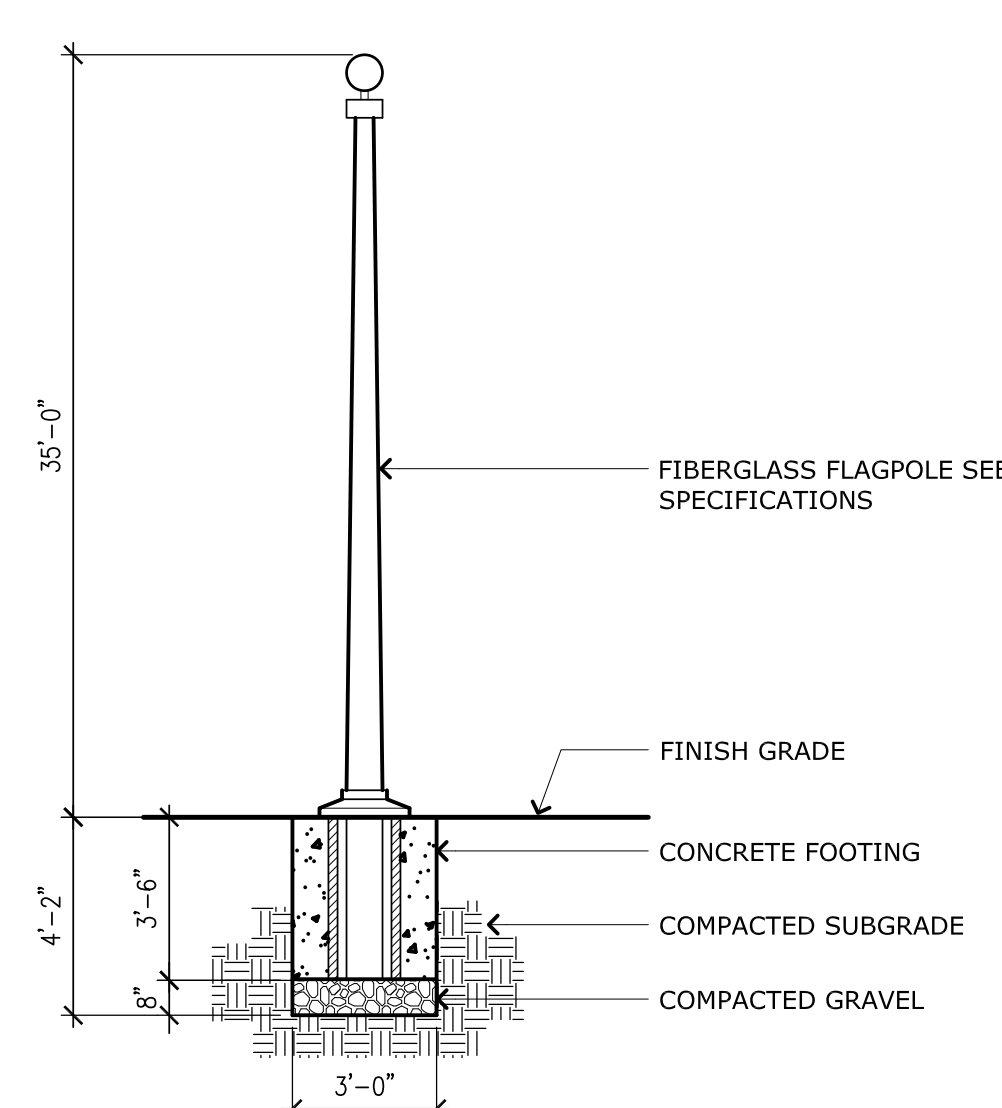
9 DUMPSTER PAD AND ENCLOSURE



10 BIKE RACK



11 INTERGRAL CONCRETE CURB

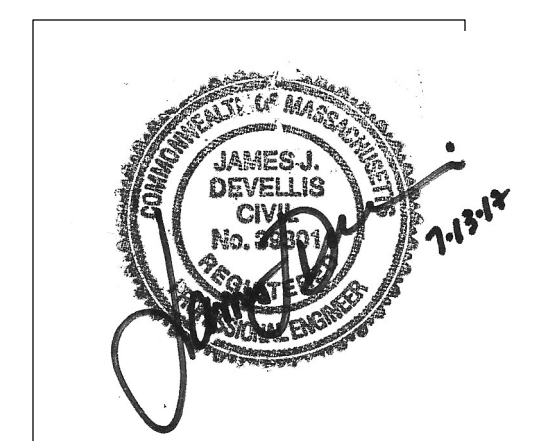


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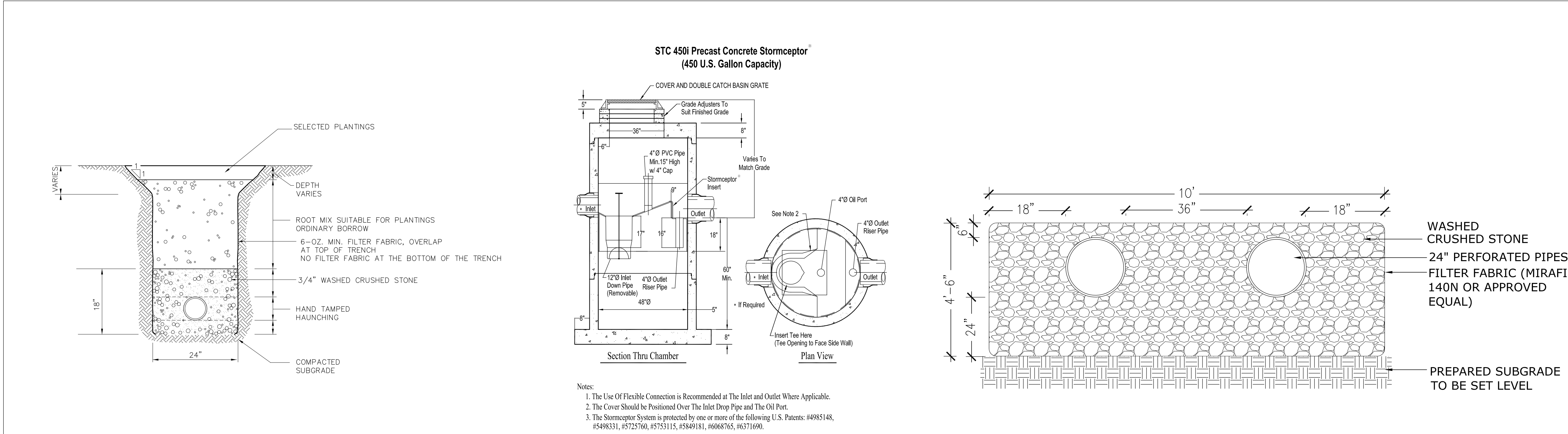
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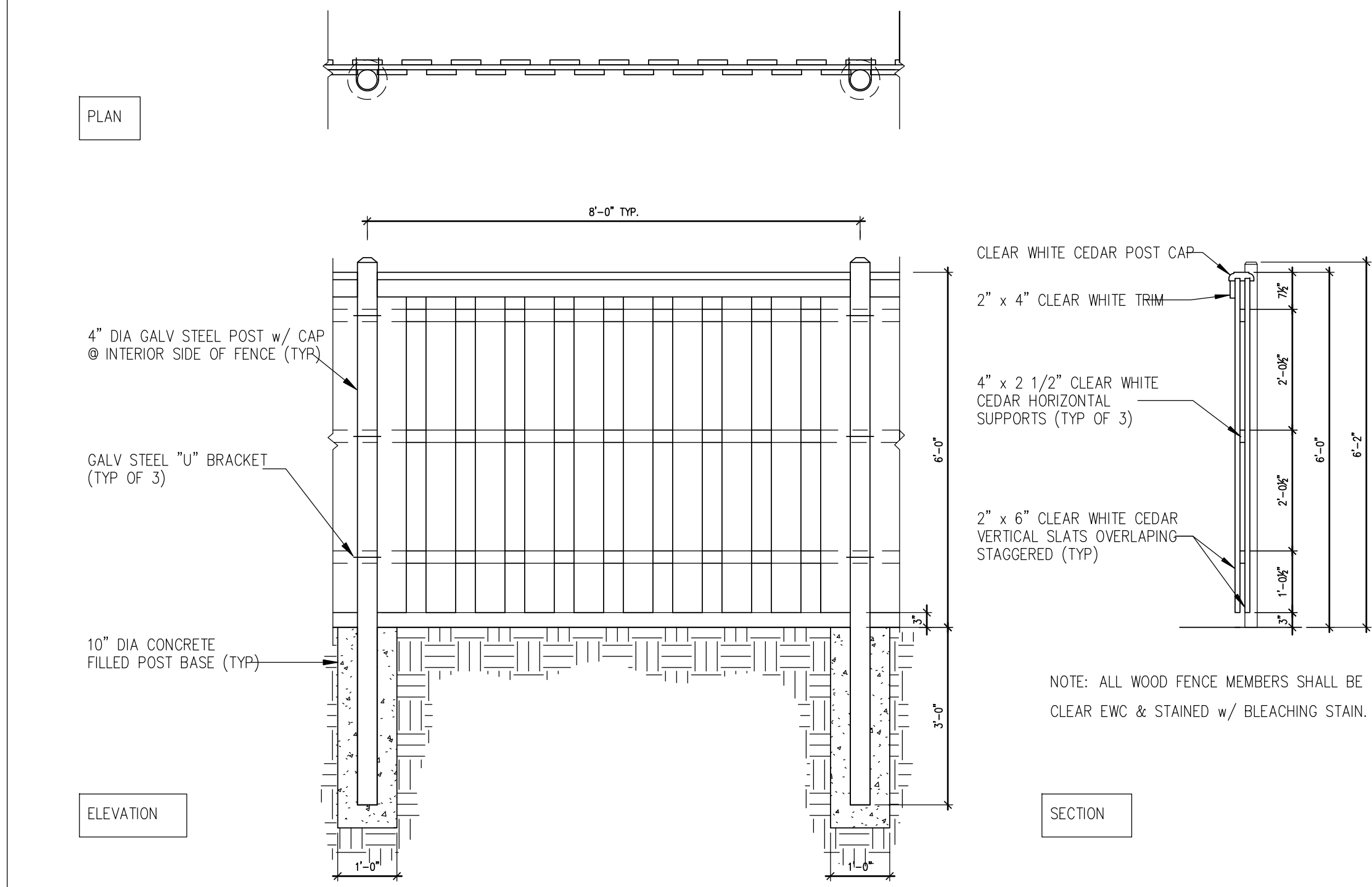
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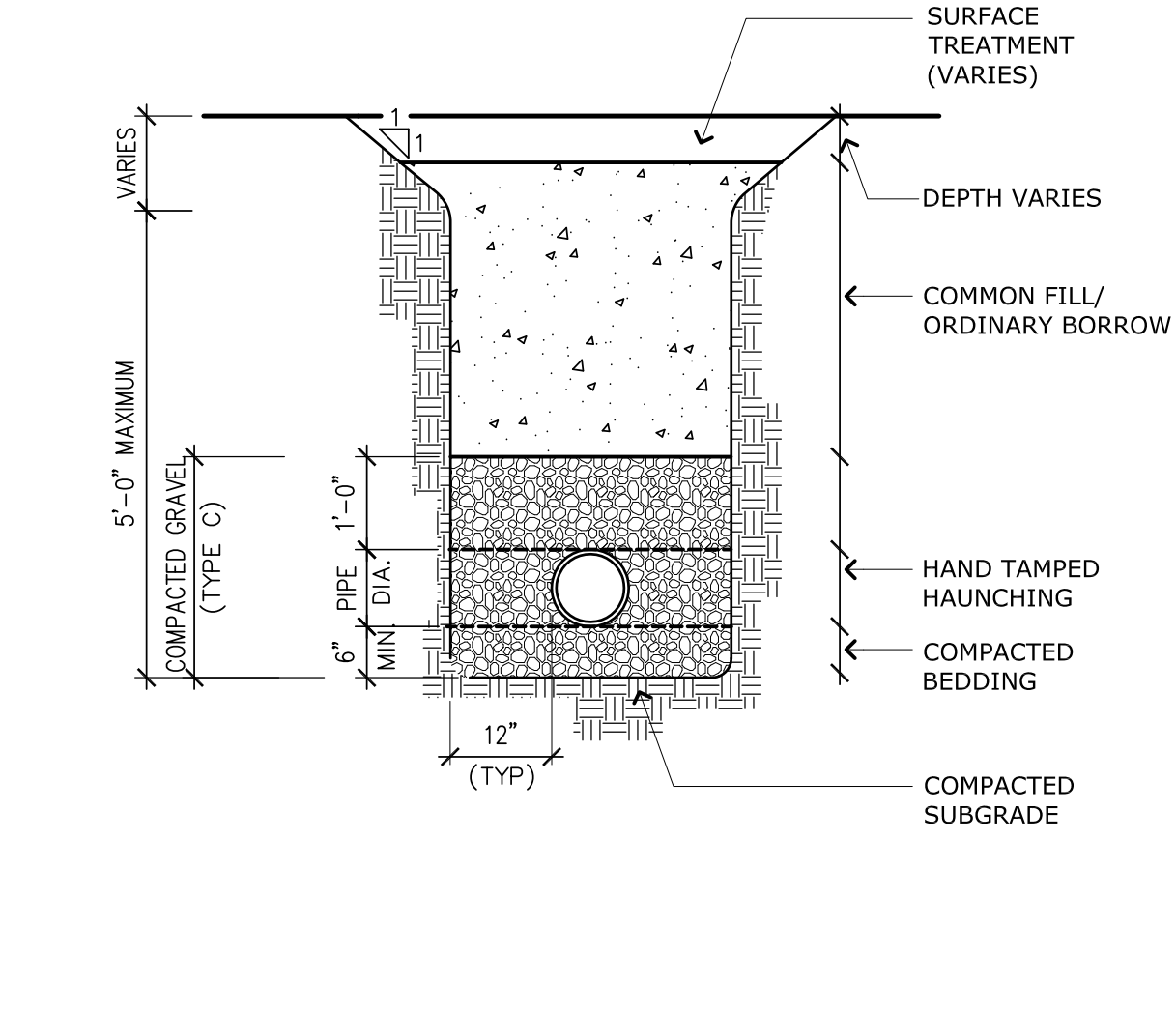
1 INFILTRATION TRENCH

2 STORMCEPTOR 450I

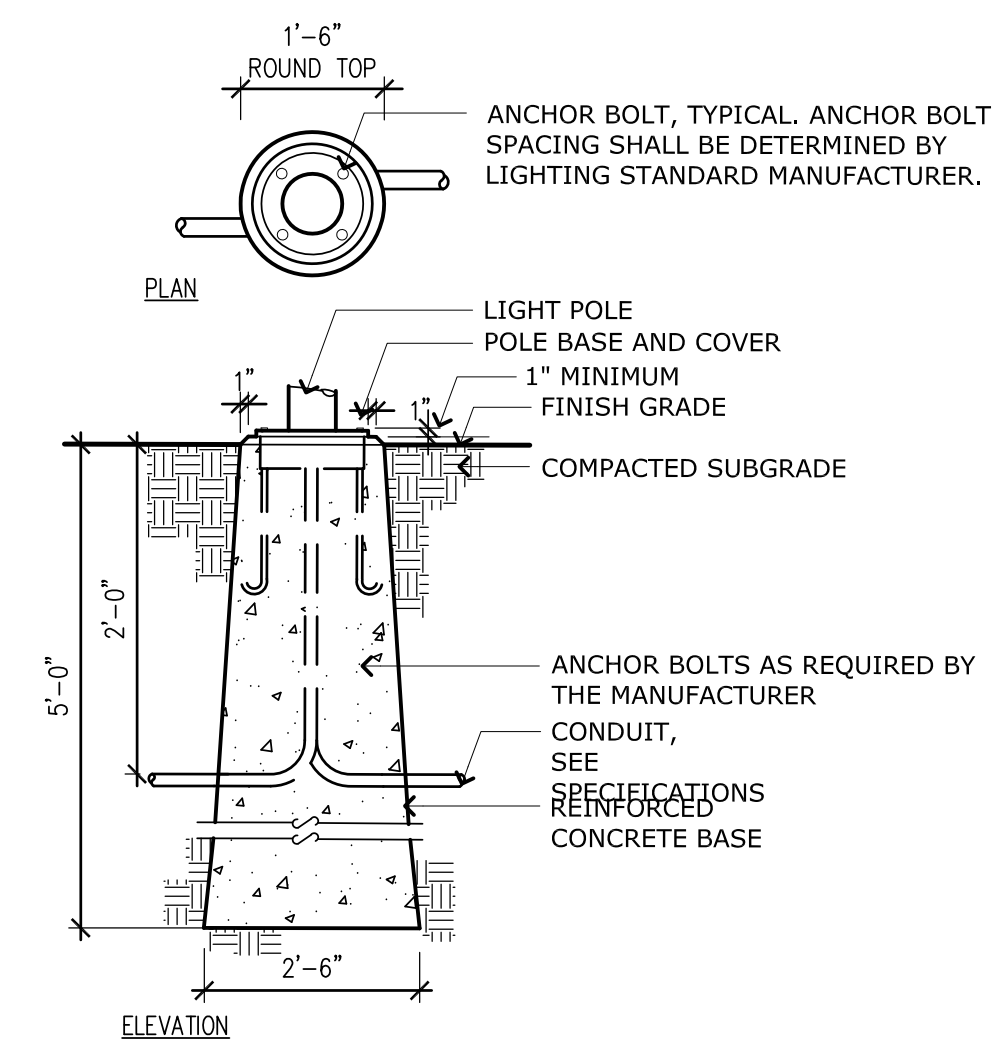
3 STOREMWER INFILTRATION TRENCH



4 6' HT. CEDAR FENCE



5 UTILITY/DUCT BANK TRENCH



6 LIGHT POLE BASE

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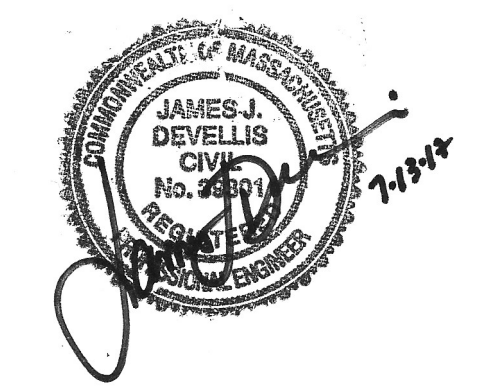
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