

GATEHOUSE MEDIA NEW ENGLAND

COMMUNITY NEWSPAPER COMPANY

PATRIOT LEDGER/THE ENTERPRISE

HERALD NEWS FALL RIVER/ TAUNTON GAZETTE

WALPOLE TIMES, PROVINCETOWN BANNER

NANTUCKET INDEPENDENT

254 SECOND AVE, NEEDHAM, MA 02494-2811

DATE: 01 / 05 /20 20

I HEREBY ACKNOWLEDGE THAT THE APPLICATION I AM SUBMITTING TO THE:

TOWN OF SHARON, MASSACHUSETTS

☒ Zoning Board of Appeals

☐ Planning Board

☐ Conservation Commission

☐ Historic Districts Commission

☐ Other: \_\_\_\_\_

☐ Board of Selectmen

Requires a legal notice of public hearing. Said hearing is to be held on \_\_\_\_/\_\_\_\_/20\_\_\_\_.  
Legal notices are currently submitted to the SHARON ADVOCATE for publication on the  
following date(s). \_\_\_\_/\_\_\_\_/20\_\_\_\_ and \_\_\_\_/\_\_\_\_/20\_\_\_\_

I hereby AUTHORIZE that the required legal notice be billed directly to me by, GateHouse Media New England, d/b/a, Community Newspaper Company, Inc.

Printed Name: PAULA SZUCE

Signature: [Signature]

Address: 15 FRANKLIN RD

City: SITARON, State: MA, Zip: 02067

Phone: 617-784-6095

Original copy to Town, copy to customer and copy to Legal Publication Dept of paper with ad copy.



ELLEN W. ABELSON  
RICHARD B. GORDEN, M.A.A.  
ANNE M. CARNEY

# TOWN OF SHARON

OFFICE OF THE

## BOARD OF ASSESSORS

90 SOUTH MAIN ST.  
SHARON, MASSACHUSETTS 02067

TEL. (781) 784-1500

November 22, 2019

RE: 15 Franklin Road  
Map 72-133

TO WHOM IT MAY CONCERN:

I, Jeffery L. Funk, Administrative Assessor of the Town of Sharon, hereby certify that attached is a list of abutters in the Town of Sharon within 300' radius of the above mentioned location in the Town of Sharon. This list is compiled from the record of the Board of Assessors most recent tax assessment.

BOARD OF ASSESSORS

Jeffery L. Funk, M.A.A.

Enclosure

COMMONWEALTH OF MASSACHUSETTS

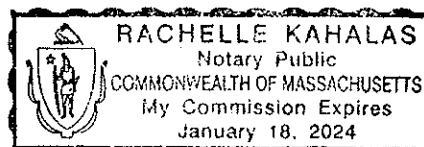
Norfolk, ss.

Date: *November 22, 2019*

Then personally appeared the above-named Jeffery L. Funk, and acknowledged the foregoing to be his free act and deed, before me

Notary Public

My commission expires: *January 18, 2024*





## Town of Sharon

90 South Main Street  
Sharon, MA 02067

Tel. 781 784-1500 x1207  
aoffice@townofsharon.org

72-133

### Request for abutter's list

Name of organization: Paula Szulc  
Person filing request: Paula Szulc Title: \_\_\_\_\_  
Address: 15 Franklin Road, Sharon, MA 02067  
Telephone # 617-784-6095 Email: szulcpa01020@gmail.com

Subject property: 15 Franklin Road, Sharon, MA

Abutters within 300 feet

Planning Board 500'

Zoning Board of Appeals 300'

Conservation 100'

Board of Health 200'

Historical Commission 200'

Liquor License – Direct Abutters and Churches and Schools within 500'

Fee: \$0.50 per abutter; \$6.00 minimum

Date: November 21,

Please allow ten (10) days for completion of this request.

This form can be submitted electronically, sent via regular mail or in person at the Assessor's Office.

Once the form is received and abutters list is completed the Assessor's Office will notify you via email or phone with fee and pick up date.

Parcel ID: 072048000  
SHARON MIDDLE SCHOOL  
75 MOUNTAIN ST  
SHARON MA 02067

Parcel ID: 072135000  
FLEISCHER-COOPERMAN, JENNIFER  
COOPERMAN, STEVEN G  
5 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072136000  
CARNE, DANA R  
76 MASSAPOAG AVE  
SHARON MA 02067

Parcel ID: 072133000  
DOMINGUEZ, PAULA S.  
15 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072125000  
WLUKA, NANCY  
WLUKA, DAVID  
64 MASSAPOAG AVE  
SHARON MA 02067

Parcel ID: 072130000  
CULLEN, BRENDAN J  
CULLEN, SARA W  
6 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072132000  
CHEN, LEONARDO C  
CHEN, BRIGITTE TING  
18 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072126000  
TOWN OF SHARON  
CONSERVATION COMMISSION  
90 SOUTH MAIN ST  
SHARON MA 02067

Parcel ID: 072129000  
BASTIEN, ROGER J  
BASTIEN, CHERYL A  
4 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072138000  
TOWN OF SHARON  
CONSERVATION COMMISSION  
90 SOUTH MAIN ST  
SHARON MA 02067

Parcel ID: 072131000  
ZISKIND, ELISHA  
ZISKIND, LAUREN  
8 FRANKLIN RD  
SHARON MA 02067

Parcel ID: 072127000  
BENDT, ROBERT M.  
BENDT, MELINDA M.  
66A MASSAPOAG AVE  
SHARON MA 02067

Parcel ID: 062021000  
LORENZEN, PETER  
LORENZEN, DEBORAH A  
1 MANOR LN  
SHARON MA 02067

Parcel ID: 072128000  
ROSENBERG, BERNARD M TRUSTEE  
C/O STEVEN D ROSENBERG, TR  
INT'L SERVICE CONSULTANTS LTD.  
CAMBRIDGE MA 02142-1229

Parcel ID: 072137000  
WOOGMASTER, STEPHEN E  
WOOGMASTER, JOAN P  
80 MASSAPOAG AVE  
SHARON MA 02067

Parcel ID: 072134000  
SPANO, AUGUSTUS J & JOAN E CO-TRS  
THE NINE FRANKLIN RD REALTY TR  
9 FRANKLIN RD  
SHARON MA 02067

MSPARCEL	MSLOCATION	MSOWNER	MSOWNERB	MSMADDA	MSMCITY	MSMSTATE	MSMZIP
72048000	75 MOUNTAIN ST	SHARON MIDDLE SCHOOL		75 MOUNTAIN ST	SHARON	MA	02067
72135000	5 FRANKLIN RD	FLEISCHER-COOPERMAN, JENNIFER	COOPERMAN, STEVEN G	5 FRANKLIN RD	SHARON	MA	02067
72136000	76 MASSAPOAG AVE	CARNE, DANA R		76 MASSAPOAG AVE	SHARON	MA	02067
72133000	15 FRANKLIN RD	DOMINGUEZ, PAULA S.		15 FRANKLIN RD	SHARON	MA	02067
72125000	64 MASSAPOAG AVE	WLUKA, NANCY	WLUKA, DAVID	64 MASSAPOAG AVE	SHARON	MA	02067
72130000	6 FRANKLIN RD	CULLEN, BRENDAN J	CULLEN, SARA W	6 FRANKLIN RD	SHARON	MA	02067
72132000	18 FRANKLIN RD	CHEN, LEONARDO C	CHEN, BRIGITTE TING	18 FRANKLIN RD	SHARON	MA	02067
72126000	66A R MASSAPOAG AVE	TOWN OF SHARON	CONSERVATION COMMISSION	90 SOUTH MAIN ST	SHARON	MA	02067
72129000	4 FRANKLIN RD	BASTIEN, ROGER J	BASTIEN, CHERYL A	4 FRANKLIN RD	SHARON	MA	02067
72138000	5 MANOR LN	TOWN OF SHARON	CONSERVATION COMMISSION	90 SOUTH MAIN ST	SHARON	MA	02067
72131000	8 FRANKLIN RD	ZISKIND, ELISHA	ZISKIND, LAUREN	8 FRANKLIN RD	SHARON	MA	02067
72127000	66A MASSAPOAG AVE	BENDT, ROBERT M.	BENDT, MELINDA M.	66A MASSAPOAG AVE	SHARON	MA	02067
62021000	1 MANOR LN	LORENZEN, PETER	LORENZEN, DEBORAH A	1 MANOR LN	SHARON	MA	02067
72128000	72 MASSAPOAG AVE	ROSENBERG, BERNARD M TRUSTEE	C/O STEVEN D ROSENBERG, TR	INT'L SERVICE CONSULTANTS LTD.	CAMBRIDGE	MA	02142-1229
72137000	80 MASSAPOAG AVE	WOOGMASER, STEPHEN E	WOOGMASER, JOAN P	80 MASSAPOAG AVE	SHARON	MA	02067
72134000	9 FRANKLIN RD	SPANO, AUGUSTUS J & JOAN E CO-TRS	THE NINE FRANKLIN RD REALTY TR	9 FRANKLIN RD	SHARON	MA	02067

#1854

RECEIVED  
CLERK'S OFFICE  
SHARON, MA 02067

2020 FEB -7 A 9:02



### Sharon Zoning Board of Appeals Application for Hearing

1. Name of Applicant: PAULA SZULC
2. Mailing Address of Applicant: 15 FRANKLIN RD  
SHARON, MA 02067
3. Phone: Home (617) 784-6095 Business: \_\_\_\_\_
4. Applicant is: (check) Owner ☒ Tenant \_\_\_\_\_ Licensee \_\_\_\_\_  
Prospective Purchaser \_\_\_\_\_ Abutter \_\_\_\_\_  
Other \_\_\_\_\_
5. Address/Location of Property to be Subject to Hearing:  
15 FRANKLIN RD, SHARON, MA 02067
6. Owner of Property: PAULA SZULC (formerly DOMINGUEZ)
7. Mailing Address of Owner: 15 FRANKLIN RD  
SHARON, MA 02067
- 7a. Phone: Home (617) 784-6095 Business: \_\_\_\_\_
8. Date of deed into current owner 07/15/2016
9. Has any application or appeal ever been filed with the Board of Appeals on this property? \_\_\_\_\_  
If yes, name of Applicant: \_\_\_\_\_
10. Has the lot been surveyed by a Registered Land surveyor? \_\_\_\_\_
11. Nature of Application: (check)  
a. \_\_\_\_\_ Appeal in accordance with MA GL Ch. 40, Sec 8 as amended.  
b. ☒ Special permit in accordance with MA GL Ch. 40A, Sec 9 as amended.  
c. \_\_\_\_\_ Variance in accordance with MA GL Ch. 40A, Sec. 10 as amended.
12. State the exact nature of this application (see instructions). State applicable section of Sharon Zoning Bylaws: 1) Finding that proposal is not substantially more detrimental to the neighborhood than the existing non-conforming structure per MGL Chapter 40A Sec. 6 and Sharon Zoning Bylaw Sec. 6412(b); 2) Finding that proposal does not increase the degree of non-conformity of such structure per Sharon Zoning Bylaw Sec. 6412(a); 3) Special permit to allow a Master Bedroom expansion to a non-conforming structure on a non-conforming lot, per Sharon Zoning Bylaw Sec. 6412(b) and; 4) Applicant also requests the granting of such other Special Permits, variances, or Findings which the Zoning Board determines requisite for the proposed structural change.

13. Complete the following checklist and include all necessary enclosures with application. (Refer to instruction sheet.)

- \_\_\_\_\_ 5 copies and 1 original of this application
- \_\_\_\_\_ 7 copies of the Building Plans as described in instruction sheet
- \_\_\_\_\_ 6 copies of the Plot Plan of land as described in instruction sheet
- \_\_\_\_\_ 1 original abutters list certified by the Board of Assessors
- \_\_\_\_\_ 2 Copies of the abutters list on labels.
- \_\_\_\_\_ Check in the amount of the filing fee
- \_\_\_\_\_ 6 copies of the building inspector's denial (if issued).

**Sharon Zoning Board of Appeals**  
**Application of Hearing**  
**Page 2**

I hereby request a hearing before the Sharon Zoning Board of Appeals with reference to the above noted application or appeal.

I am aware that the cost of advertising will be billed to me directly as the Applicant, by the newspaper at a later date. I am also aware that certain provisions of the By-Laws require the Applicant to provide certifications to the Zoning Board of Appeals. The cost of hiring the professional who will perform these certifications will be borne by the Applicant.

Signed:  Date: 1/16/2020

Signed: \_\_\_\_\_ Date: \_\_\_\_\_

**Schedule of Filing Fees**

Application shall be accompanied by a filing fee, payable to the Town of Sharon of \$100.00 for the first two acres and \$25.00 for each additional acre or part thereof of the locus, except for applications for a public stable permit, that fee being \$25.00 regardless of land area.

APPENDIX A  
SPECIAL PERMIT CONDITIONS AND WORKSHEET

1. That the use is in harmony with the general purpose and intent of the bylaw:  
No increase in the footprint of the structure is proposed.
2. That the use is in an appropriate location and is not detrimental to the neighborhood and does not significantly alter the character of the zoning district: The house is in a single family zone and has a square footage and lot size consistent with the neighborhood.
3. Adequate and appropriate facilities will be provided for the proper operation of the proposed use:  
Yes, as per proposed plans (see attached plans)
4. That the proposed use would not be detrimental or offensive to the adjoining zoning districts and neighboring properties due to the effects of lighting, odors, smoke, noise, sewage, refuse materials, visual or other nuisances:  
No detrimental lighting, odors, etc. proposed.
5. That the proposed use would not cause undue traffic congestion in the immediate area:  
No increase in traffic

APPENDIX B  
VARIANCE CONDITIONS AND WORKSHEET

1. The Variance must be with respect to particular land or structures.

Parcel of Land: \_\_\_\_\_  
\_\_\_\_\_

Structures: \_\_\_\_\_  
\_\_\_\_\_

2. There must be circumstances relating to the soil conditions, shape, or topography of such land or structures and especially affecting such land or structures but not affecting generally the zoning district in which it is located.

Circumstances: \_\_\_\_\_  
\_\_\_\_\_

3. Literal enforcement of the provisions of the bylaw would involve substantial hardship, financial or otherwise, to the petitioner or appellant.

Hardship would be: \_\_\_\_\_  
\_\_\_\_\_

4. Desirable relief may be granted without substantial detriment to the public good and without nullifying or substantially derogating from the intent or purpose of such bylaw.

Relief would be: \_\_\_\_\_  
\_\_\_\_\_

Detriment would be: \_\_\_\_\_  
\_\_\_\_\_

Is it substantial? \_\_\_\_\_

Intent or purpose of bylaw section? \_\_\_\_\_

Would the variance nullify intent or purpose above? \_\_\_\_\_

Is there any substantial derogating, (Lessening) of the intent or purpose; and if so, what is it?  
\_\_\_\_\_  
\_\_\_\_\_



**TOWN OF SHARON**  
**DEPARTMENT OF PUBLIC WORKS**

217 REAR SOUTH MAIN STREET, P.O. BOX 517

SHARON, MASSACHUSETTS 02067

TEL: (781) 784-1525 FAX: (781) 784-1508

ERIC R. HOOPER, P.E.  
SUPERINTENDENT

PETER M. O'CAIN, P.E.  
TOWN ENGINEER

JOSEPH X. KENT  
INSPECTOR OF BUILDINGS

ELIZABETH CURLEY  
BUSINESS MANAGER

**MEMORANDUM**

TO: Applicant to Zoning Board of Appeals

FROM: Kevin Davis, Agent of the Board of Health

SUBJECT: Requirement of Board of Health

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As an applicant to the Zoning Board of Appeal, you will be required to provide the following information to the Health Agent:

- Certified plot plan showing all existing and proposed dwellings/additions, current septic system locations, architectural layout plans (if applicable), and FEMA base flood elevations.
- If an addition to the structure is proposed, a certification of current septic system status is required (A Title 5 Inspection Report or Certificate of Compliance no more than 2 years old).
- Any and all supporting documentation related to your project.

The above required documentation should be submitted at least two (2) weeks prior to your hearing date. Otherwise, This Department may not have sufficient time to review your documents and make comment.

F PLAN ARCHITECTURAL STRUCTURAL MECHANICAL  ELECTRICAL PLUMBING MECHANICAL PUMPS EQUIPMENT	
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## STRUCTURAL PARAMETERS

THE MANUFACTURER OF THE I JOIST AND LVL 1.9E MICRO BEAMS THAT WAS CALCULATED IN THIS PLAN IS LVL 1.9E JOIST (TJ1). [2016 INTERNATIONAL BUILDING CODE (2012) GENERAL CONTRACTOR TO SUBMIT PLANS OF ALL STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEER FOR APPROVAL.]  
 BEARING CAPACITY ESTIMATED: 2,000 LBS PER SQ. FT.  
 LOADING: 40 + 10, 2ND FLOOR LOADING: 20 + 15 K (NO STORAGE) 10 + 7, CEILING (STORAGE): 20 + 10  
 LOADING 35 + 15, DECK LOADING: 40 + 15. WEIGHTS  
 LOAD - DEAD LOAD RESPECTIVELY.

A.C.		ABBREVIATIONS		S.D.	
A.C.	AIR CONDITIONING	DIAM.	DIAMETER	MAX.	MAXIMUM
A.F.F.	ABOVE FINISHED FLOOR	DM.	DIMENSION	MFR.	MANUFACTURER
A.F.G.	ABOVE FINISHED GRADE	DWG.	DRAWING	MIN.	MINIMUM
APX.	APPROXIMATE	EA.	EACH	MISC.	MISCELLANEOUS
ASPH.	ASPHALT	EQUIP.	EQUIPMENT	NOM.	NOMINAL
ASSEM.	ASSEMBLY	EXG.	EXISTING	N.T.S.	NOT TO SCALE
AVG.	AVERAGE	EXT.	EXTERIOR	O.C.	ON CENTER
B.F.F.	BELOW FINISHED FLOOR	F.F.	FINISHED FLOOR	OPNG.	OPENING
BLDG.	BUILDING	FIN.	FINISH	PAR.	PARALLEL
BLKG.	BLOCKING	FLR.	FLOOR	PARTN.	PARTITION
BRG.	BEARING	F.O.F.	FACE OF FINISH	PEP.	PEDESTAL
BOT.	BOTTOM	F.O.S.	FACE OF STUD	P.E.	PROFESSIONAL ENGINEER
BSMT.	BASEMENT	FTG.	FOOTING	PERIM.	PERIMETER
CAB.	CABINET	GALV.	GALVANIZED	PLT.	PLATE
: 1.	CENTER LINE	GYP.	GYPSUM	PLYWD.	PLYWOOD
C.L.	CENTER LINE	HBS.	HOUSE BSBG	P.S.F.	POUNDS PER SQUARE FOOT
CLG.	CEILING	HC.	HOLLOW CORE	P.S.I.	POUNDS PER SQUARE INCH
CLO.	CLOSET	HDR.	HEADER	P.T.	PRESSURE TREATED
CONC.	CONCRETE	HGT.	HEIGHT	QTY.	QUANTITY
CONT.	CONTINUOUS	HORIZ.	HORIZONTAL	REINF.	REINFORCED (REBAR)
CSMT.	CASEMENT	H.V.A.C.	HEATING, VENTING & AIR CONDITIONING	REQD.	REQUIRED
DBL.	DOUBLE	INT.	INTERIOR	RFG.	ROOFING
DEMO.	DEMOLITION	INSUL.	INSULATION	RH.	RIGHT HAND
DEPT.	DEPARTMENT	JST.	JOIST	R/O.	ROUGH OPENING
DET.	DETAIL	LH.	LEFT HAND	S.D.	SMOKE DETECTOR
DF.	DOUGLAS FIR	LL.	LIVE LOAD	SHTG.	SHEATHING
DH.	DOUBLE HUNG	LVL.	LAMINATED VENEER LUMBER	SHWR.	SHOWER
DIAG.	DIAGONAL			SPECS.	SPECIFICATIONS
				SQ.FT.	SQUARE FOOT
				STOR.	STORAGE
				STR.L.	STRUCTURAL
				STWY.	STAIRWAY
				SYS.	SYSTEM
				T.B.D.	TO BE DETERMINED
				T&G.	TONGUE AND GROOVE
				T.O.B.	TOP OF BEAM
				T.O.F.	TOP OF FOOTING
				T.O.J.	TOP OF JOIST
				T.O.W.	TOP OF WALL
				TRD.	TREAD
				T.S.L.	TOP OF SLAB
				TYP.	TYPICAL
				V.B.	VAPOR BARRIER
				VERT.	VERTICAL
				V.I.F.	VERIFY IN FIELD
				W.	WITH
				W.C.	TOILET (WATER CLOSET)
				W.L.C.	WALK IN CLOSET
				W/D.	WITH OUT

SCOPE OF WORK	GENERAL CONSTRUCTION NOTES
<p>THIS IS AN EXISTING SINGLE FAMILY HOUSE THAT IS PROPOSING TO ALTER AN EXISTING 3 SEASON PORCH WITH WALLS AND WINDOWS TO A HEATED 4 SEASON BEDROOM. THERE IS A 1 CAR GARAGE UNDER THE EXISTING PORCH. THE NEW ROOM ABOVE WILL BE INSULATED AND NEW OPENING INSTALLED. THE EXISTING GARAGE WILL ALSO BE INSULATED BUT NOT HEATED. FIRE SEPARATION BETWEEN THE GARAGE AND BEDROOM TO BE INSTALLED AS PER CODE REQUIREMENTS.</p> <p><b>(INSULATION BUILDING ENVELOPE)</b></p> <ol style="list-style-type: none"> <li>WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE</li> <li>ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER. INSTALL 2" POLYSTYRENE OR POLYISO FOAM BOARD ON UNDER SIDE OF SHEATHING WHERE THE SPACE IS RESTRICTED</li> <li>ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE. 1" BAFFLES MUST ALSO BE INSTALLED FROM THE EAVES PAST THE 12" BATT INSUL. ROOFS W/ SLOPED CEILINGS: R-38 CLOSED CELL FOAM INSULATION. INSTALL PROPER ROOF VENTING AS PER CODE REQUIREMENTS. INSTALL 1" BAFFLE PANELS IN ROOF BAYS TO PROVIDE VENTING FOR MAIN ROOM.</li> <li>AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.</li> </ol>	<ol style="list-style-type: none"> <li>ALL WORK SHALL CONFORM TO THE APPLICABLE STATE BUILDING CODE, ITS APPLICABLE REFERENCED STANDARDS AND LOCAL CODES.</li> <li>IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT TO THE DESIGNER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK.</li> <li>GENERAL CONTRACTOR TO SUBMIT PLANS OF ALL STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEER FOR APPROVAL. (I.E. STRUCTURAL CRITERIA IF NEEDED FOR HIGH-ARCS, TRUSSES, LVL'S AND PRE ENGINEERED FLOOR JOISTS) FROM SUPPLIER, OR REGISTERED ENGINEER, ENERGY REPORT, IF NEEDED IS DONE BY OTHERS, OR BILLED SEPARATELY.</li> </ol> <p>THE DESIGNER EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, OR INSPECTING OR SUPERVISING THE ACTUAL CONSTRUCTION</p>

**ABOUT THE DESIGNER**

THE DESIGNER HAS USED AN ENGINEERING SOFTWARE PROGRAM CALLED STRUCLC FOR DESIGNING ALL DIMENSIONAL LUMBER INCLUDING JOIST, LVL, MICROLAM, AND PARALLEL BEAMS. HE HAS BEEN TRAINED IN THE USE OF THE PROGRAM BY A PROFESSIONAL ENGINEER EMPLOYED BY THE SOFTWARE COMPANY. HE ALSO HAS TWO YEARS OF COLLEGE MAJORING IN ELECTRICAL ENGINEERING AND DESIGN. HE HAS BEEN DESIGNING LVL AND MICROLAM BUILDING TRUSS SINCE 1978. ALL LVL AND MICROLAM BEAMS MUST BE REVIEWED BY PROFESSIONAL ENGINEER.

**EGRESS WINDOW REQUIREMENTS**

NOTE: EVERY ROOM USED FOR SLEEPING REQUIRES TWO MEANS OF EGRESS TYPE A DOOR AND AT LEAST ONE WINDOW MEETING THE CODE REQUIREMENTS LISTED BELOW.

**EGRESS WINDOW REQUIREMENTS (MIN)**


FOLLOW ORA 903.1.1 FOR OPENING EXCEPTION

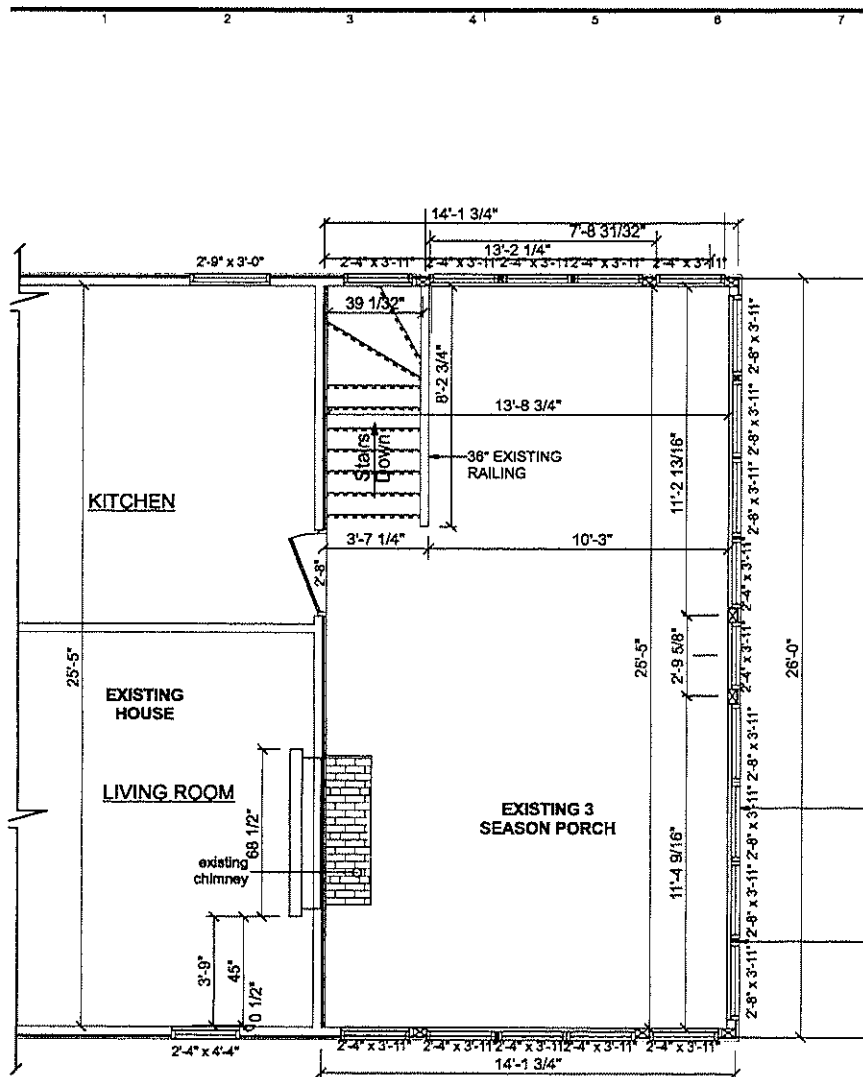
MINIMUM HEIGHT OF OPENING: 20 IN.  
 MINIMUM WIDTH OF OPENING: 20 IN.  
 MINIMUM NET CLEAR OPENING: 5.7 SQ. FT.  
 (5.0 SQ. FT. FOR GROUND FLOOR), PROVIDING BOTH THE MIN. HEIGHT FROM GRADE OR HEIGHT FROM FLOOR TO WINDOW SILL DOES NOT EXCEED 44".  
 MAXIMUM SILL HEIGHT ABOVE FLOOR: 44 IN.  
 MIN. SILL HEIGHT 24" UP FROM FINISH FLOOR WHEN THE SILL HEIGHT TO GRADE IS EQUAL TO OR GREATER THAN 5'-0".

IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION. REPORT TO THE DESIGNER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH ANY WORK. THE DESIGNER EXPRESSLY DISCLAIMS ANY RESPONSIBILITY FOR MONITORING, OR INSPECTING OR SUPERVISING THE ACTUAL CONSTRUCTION.

#### GENERAL CONSTRUCTION NOTES/CRITERIA

- 1) THE FOLLOWING CRITERIA SHOULD BE USED IN THE CONSTRUCTION PROCESS.
  - 1) ALL CEMENT FOOTINGS AND PIERES SHOULD BE EXCAVATED TO 4" BELOW FINISH GRADE AND REST ON COMPACTED SUITABLE SOILS. THEY SHOULD ALSO BE SIZED APPROPRIATELY TO SUPPORT THE TRIBUTARY LOADS THEY ARE INTENDED TO CARRY.
  - 2) THE END SUPPORTS FOR ALL STRUCTURAL BEAMS SHOULD HAVE SOLID PORTS TRANSFERRING THE LOAD CONTINUOUSLY DOWN TO SOLID BEARING IN CELLAR. ALL PORTS AND LVL BEAMS INSTALLED SHOULD BE REVIEWED AND STAMPED BY STRUCTURAL ENGINEER.
  - 3) ANY LUMBER IN CONTACT WITH CEMENT SHOULD BE PRESSURE TREATED LUMBER.
  - 4) JOISTS UNDER FRAGILE, LOAD-BEARING WALLS MUST BE BIG ENOUGH TO SUPPORT THE WEIGHT OF THE LOAD THEY BEAR. DOUBLED JOISTS THAT ARE SEPARATED SO PIPING OR VENTS CAN BE INSTALLED MUST BE SOLID BLOCKED WITH LUMBER THAT'S AT LEAST 2 INCHES THICK AND SPACED NO MORE THAN 4 FEET APART.
  - 5) SOLID BLOCKING OR DIAGONAL BRIDGING SHOULD BE INSTALLED BETWEEN ALL FLOOR JOISTS WITH A SPAN GREATER THAN 8'.
  - 6) ALL UNSUPPORTED JOIST AND HEADERS SHOULD HAVE PROPER METAL HANGERS INSTALLED USING THE CORRECT FASTENERS.
  - 7) DUG RAPE SHOULD BE NOTIFIED BEFORE ANY EXCAVATION OF PIERES OR FOUNDATION WORK PROCEEDS.
  - 8) THIS HOUSE IS IN EXPOSURE B, 110 MPH WIND ZONE AND MUST ADHERE TO WFOA STANDARDS. THE CONTRACTOR SHOULD CONSULT WITH LOCAL BUILDING OFFICIAL TO DETERMINE IF THERE ARE COMMUNITY SPECIFIC WIND SPEED REQUIREMENTS THAT GOVERN.
  - 9) THE CONTRACTOR MUST, WHEN LAYING OUT THE FLOOR JOIST/STUDS AND TRUSSES LINE THEM UP WITH THE EXISTING STUDS BELOW TO FACILITATE ATTACHMENT OF THE TIE STRAPS CONNECTING THE FIRST AND SECOND FLOOR FRAMING SYSTEM, AND TO TRANSFER LOADS DOWN TO FOUNDATION.
  - 10) NAILING PATTERN ON ROOF IS AS FOLLOWS: 4" O.C. ON ALL EDGES AND RAFTERS; 7" O.C. IN THE FIELD. LAY ALL WALL SHEATHING VERTICAL ON ALL CORNERS WITH BAKE NAIL PATTERN AS ABOVE WITH GALLY, RING SHANK 8 PENNY CORN NAILS. INSTALL DOUBLE STUDS WHERE 4' SHEET TERMINATES AND INSTALL TWO ROWS OF BLOCKING TO CORNER.
  - 11) ALL HEADERS OVER OPENINGS TO BE TRIPLE 2X8 W/ 1/2" PLY BETWEEN. AS NOTED ON PLANS, SOME OPENINGS MAY HAVE DOUBLE JACK STUDS.

SHEET:	E	TITLE	D	C	B	A
3-6.1	(DRAWING LIST) (ABBREVIATIONS) (SYMBOL LEGENDS) (SECTION DIAGRAM) (GENERAL NOTES)	DATE: 9/22/2018 SCALE: 3/8" = 1' DRAWN BY: Dennis Scribner Call 508-506-1828	TO UPDATE AH EXISTING 12'X28' 3 SBRIDGE TO HEATED BEDROOM	LOCATION	CLIENTS	 <p>PLANS BY Dennis Scribner Designer 448 Watrop ST Sharon, MA 01967 Call 508-506-1828</p>
OF: 9	JOB NO. 324	3/8" TAB/DOP	3/8" TAB/DOP	15 FRANKLIN RD SHARON, MA 01967	MARC & PAULA SZULC	



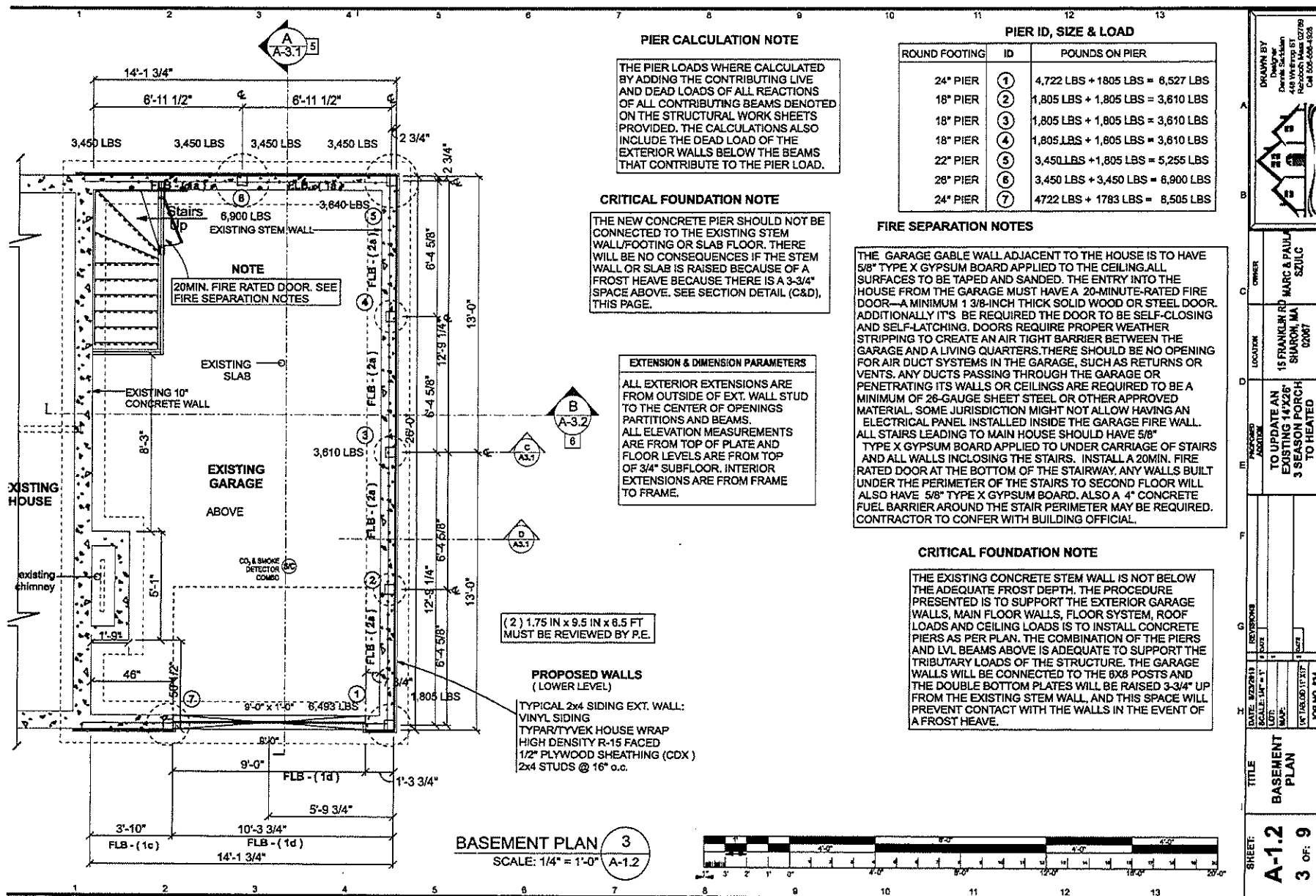
EXISTING MAIN FLOOR PLAN 2  
SCALE: 1/4" = 1'-0"



# EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.

A	DRAWN BY Derek Seaton 444 Winter St. Rahoboth Mass 02766 Call 508-586-4628	
	OWNER MARC & PAUL SZULC	
	LOCATION 15 FRANKLIN RD SHARON, MA 02767	
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**OWNER**  
DANIEL S. SULLIVAN  
448 W. Main St.  
Sharon, MA 01913  
Tel: 508-666-1455

**LOCATION**  
15 FRANKLIN RD  
SHARON, MA 01913

**TO UPDATE AN EXISTING 1 1/2" x 2" 3 SEASON PORCH TO BE HEATED BEDROOM**

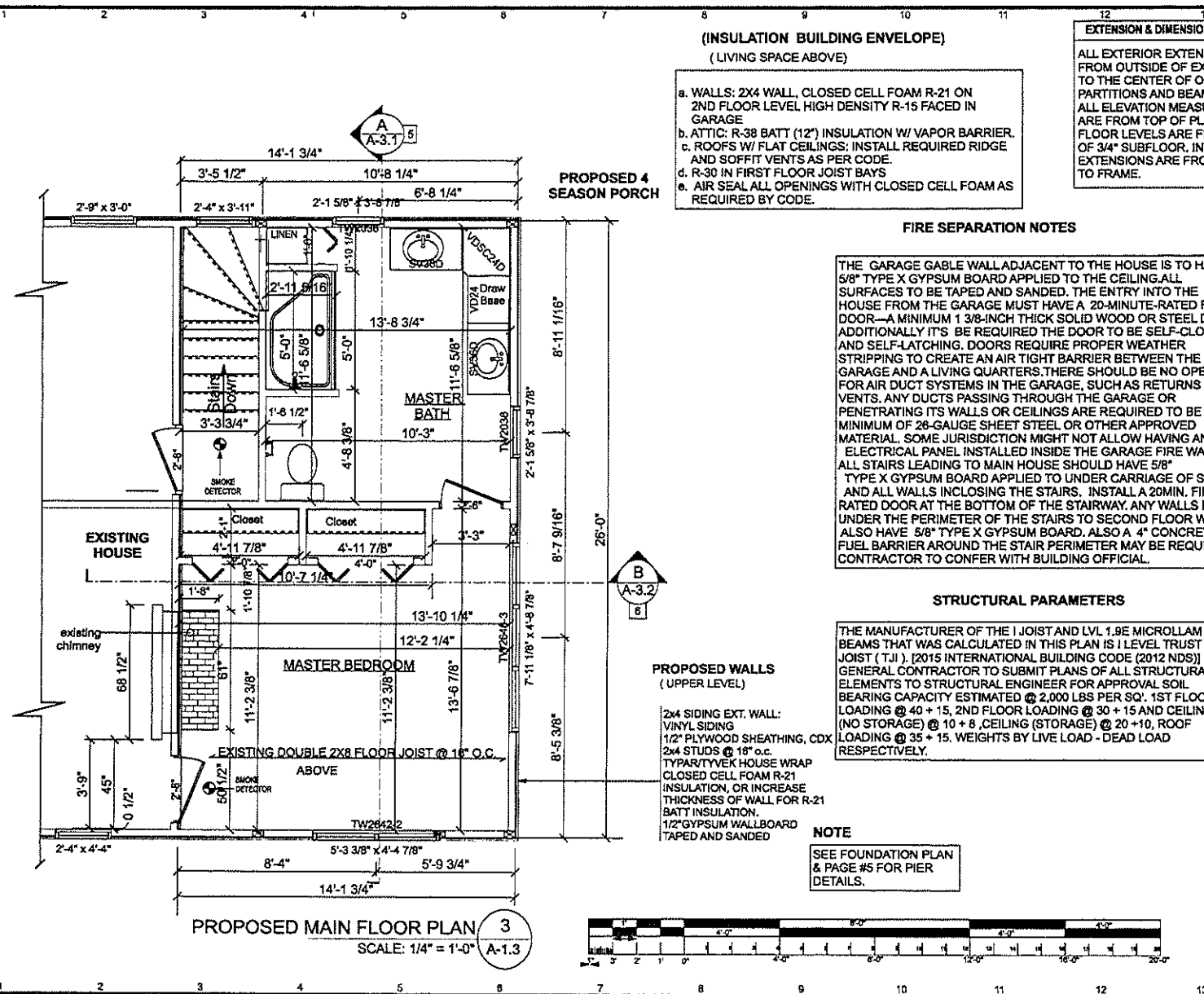
**REVISIONS**

NO.	DATE	DESCRIPTION
1	10/1/11	ISSUED FOR PERMIT

**TITLE**  
BASEMENT PLAN

**SHEET**  
A-1.2

**3 OF 9**



DRAWN BY  
D. B. BROWN  
445 WILSON ST.  
BOSTON, MA 02118  
Call 617-552-4228

OWNER  
MARC & PAUL  
SZELC

LOCATION  
15 FRANKLIN RD  
SHARON, MA 01907

PROJECT  
TO UPDATE AN  
EXISTING 14'X26'  
3 SEASON PORCH  
TO HEATED  
BEDROOM

TITLE  
PROPOSED  
MAIN FLOOR  
PLAN

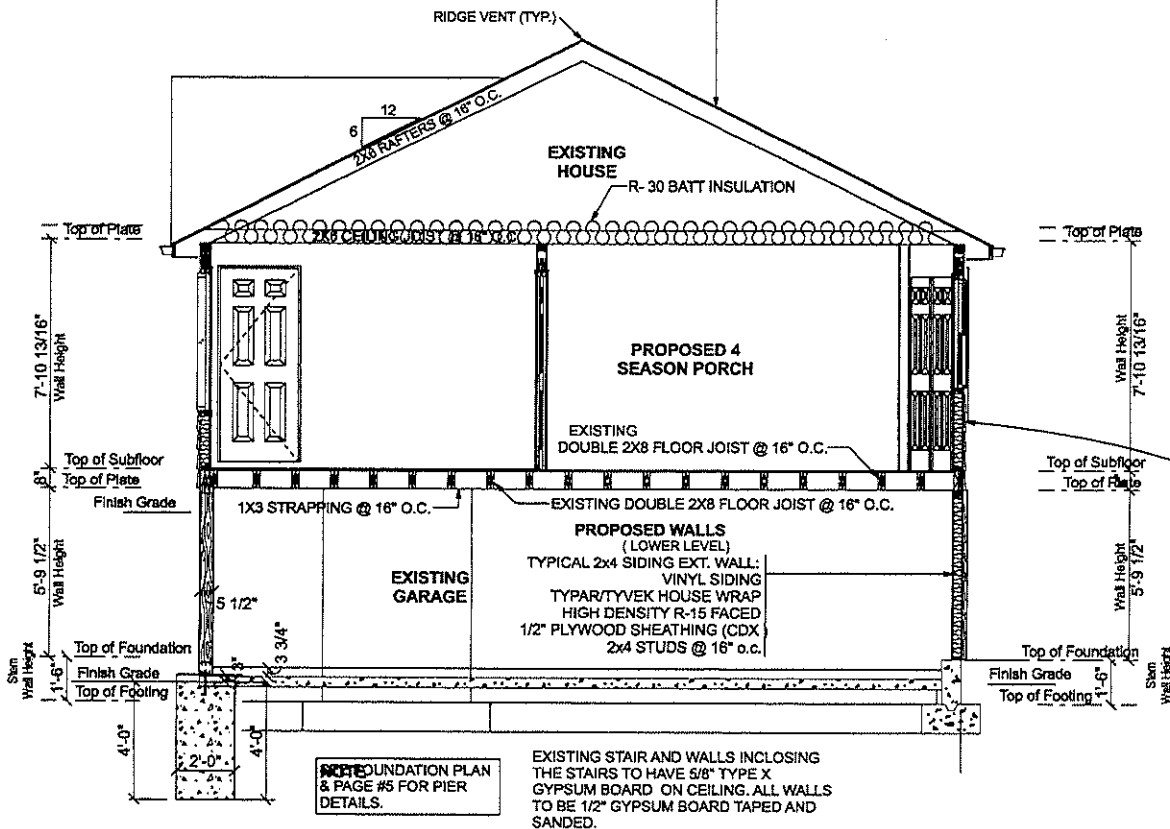
SHEET:  
A-1.3  
3 OF: 9

(INSULATION BUILDING ENVELOPE)  
(LIVING SPACE ABOVE)

- WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE
- ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER.
- ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE.
- R-30 IN FIRST FLOOR JOIST BAYS
- AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.

TYPICAL (Existing)  
FRAME ROOF:

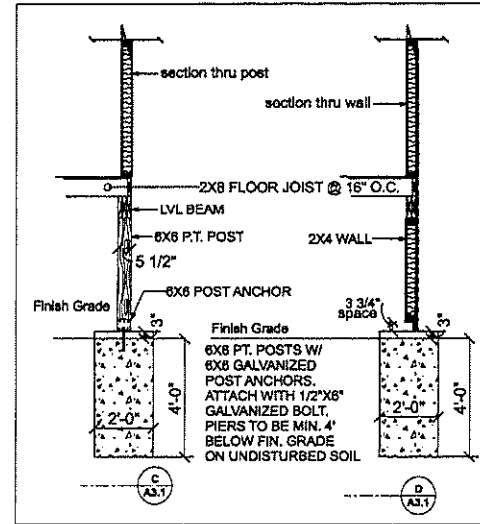
ASPHALT ARCH. SHINGLES  
1/2" PLYWOOD SHEATHING  
2x8 RAFTERS @ 16" o.c.  
2x8 COLLAR TIES  
1X3 STRAPPING @ 16" O.C.  
1/2" GYPSUM WALL BOARD  
TAPED AND SANDED.



NOTE: FOUNDATION PLAN  
& PAGE #5 FOR PIER  
DETAILS.

EXISTING STAIR AND WALLS INCLOSING  
THE STAIRS TO HAVE 5/8" TYPE X  
GYPSUM BOARD ON CEILING. ALL WALLS  
TO BE 1/2" GYPSUM BOARD TAPED AND  
SANDED.

SECTION A 5  
SCALE: 1/4" = 1'-0" A-3.1

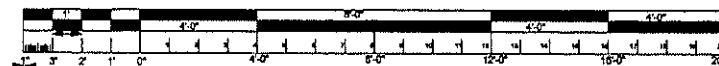


PROPOSED WALLS

(UPPER LEVEL)  
2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
TYPAR/TYVEK HOUSE WRAP  
CLOSED CELL FOAM R-21  
INSULATION, OR INCREASE  
THICKNESS OF WALL FOR R-21  
BATT INSULATION.  
1/2" GYPSUM WALLBOARD  
TAPED AND SANDED

EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE  
FROM OUTSIDE OF EXT. WALL STUD  
TO THE CENTER OF OPENINGS  
PARTITIONS AND BEAMS.  
ALL ELEVATION MEASUREMENTS  
ARE FROM TOP OF PLATE AND  
FLOOR LEVELS ARE FROM TOP  
OF 3/4" SUBFLOOR. INTERIOR  
EXTENSIONS ARE FROM FRAME  
TO FRAME.



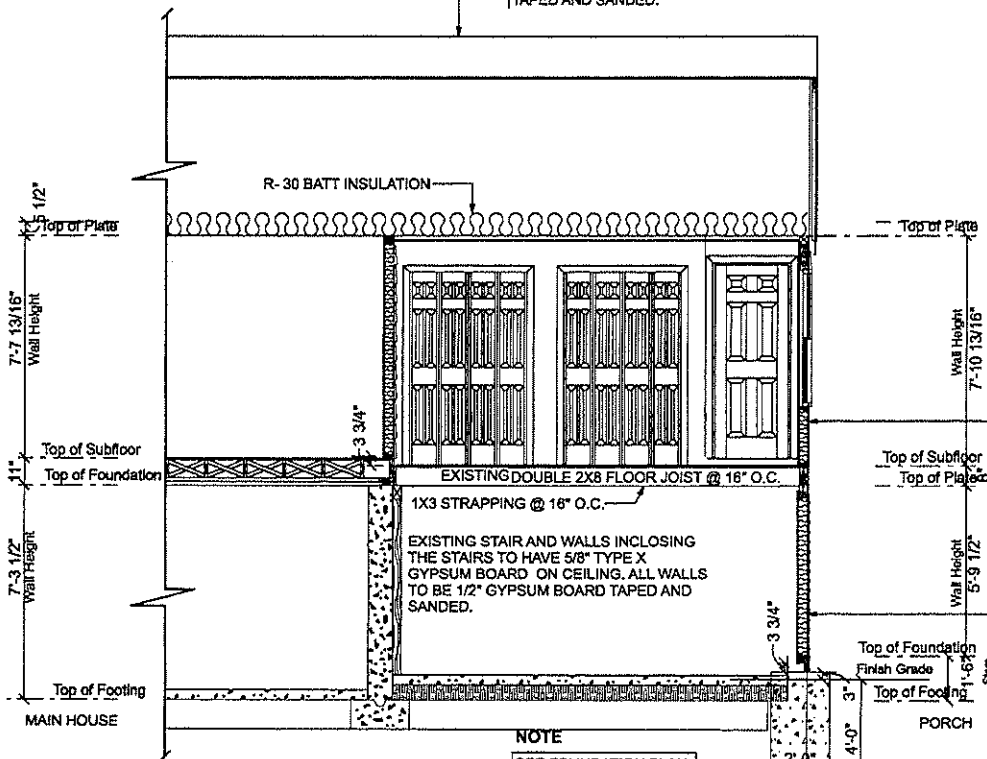
DRAWN BY Dennis Sullivan 444 Westport ST Rochester, MA 02278 Tel: 603-466-1425		OWNER	MARC & PAUL SZULC
		LOCATION	15 FRANKLIN RD SHARON, MA 02087
PROJECT ACTION	TO UPDATE AN EXISTING 14X26 3 SEASON PORCH TO HEATED BEDROOM		
DATE: 03/20/11	SCALE: 1/4" = 1'-0"	SHEET: A-3.1	OF: 9

# EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.

## TYPICAL (Existing) FRAME ROOF:

ASPHALT ARCH. SHINGLES  
1/2" PLYWOOD SHEATHING  
2x8 RAFTERS @ 16" o.c.  
2x8 COLLAR TIES  
1x3 STRAPPING @ 16" O.C.  
1/2" GYPSUM WALL BOARD  
TAPED AND SANDED.



## NOTE

SEE FOUNDATION PLAN & PAGE #5 FOR PIER DETAILS.

## SECTION B

SCALE: 1/4" = 1'-0"

6

A-3.2

## FIRE SEPARATION NOTES

THE GARAGE GABLE WALL ADJACENT TO THE HOUSE IS TO HAVE 5/8" TYPE X GYPSUM BOARD APPLIED TO THE CEILING. ALL SURFACES TO BE TAPED AND SANDED. THE ENTRY INTO THE HOUSE FROM THE GARAGE MUST HAVE A 20-MINUTE-RATED FIRE DOOR—A MINIMUM 1 3/8-INCH THICK SOLID WOOD OR STEEL DOOR. ADDITIONALLY IT'S BE REQUIRED THE DOOR TO BE SELF-CLOSING AND SELF-LATCHING. DOORS REQUIRE PROPER WEATHER STRIPPING TO CREATE AN AIR TIGHT BARRIER BETWEEN THE GARAGE AND A LIVING QUARTERS. THERE SHOULD BE NO OPENING FOR AIR DUCT SYSTEMS IN THE GARAGE, SUCH AS RETURNS OR VENTS. ANY DUCTS PASSING THROUGH THE GARAGE OR PENETRATING ITS WALLS OR CEILINGS ARE REQUIRED TO BE A MINIMUM OF 26-GAUGE SHEET STEEL OR OTHER APPROVED MATERIAL. SOME JURISDICTION MIGHT NOT ALLOW HAVING AN ELECTRICAL PANEL INSTALLED INSIDE THE GARAGE FIRE WALL. ALL STAIRS LEADING TO MAIN HOUSE SHOULD HAVE 5/8" TYPE X GYPSUM BOARD APPLIED TO UNDER CARRIAGE OF STAIRS AND ALL WALLS INCLUDING THE STAIRS. INSTALL A 20MIN. FIRE RATED DOOR AT THE BOTTOM OF THE STAIRWAY. ANY WALLS BUILT UNDER THE PERIMETER OF THE STAIRS TO SECOND FLOOR WILL ALSO HAVE 5/8" TYPE X GYPSUM BOARD. ALSO A 4" CONCRETE FUEL BARRIER AROUND THE STAIR PERIMETER MAY BE REQUIRED. CONTRACTOR TO CONFER WITH BUILDING OFFICIAL.

## (INSULATION BUILDING ENVELOPE) (LIVING SPACE ABOVE)

- WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE
- ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER.
- ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE.
- R-30 IN FIRST FLOOR JOIST BAYS
- AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.

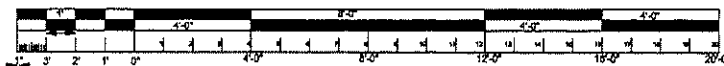
## PROPOSED WALLS (UPPER LEVEL)

2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
TYPAR/TYVEK HOUSE WRAP  
CLOSED CELL FOAM R-21  
INSULATION, OR INCREASE  
THICKNESS OF WALL FOR R-21  
BATT INSULATION.  
1/2" GYPSUM WALLBOARD  
TAPED AND SANDED

## PROPOSED WALLS (LOWER LEVEL)

TYPICAL 2x4 SIDING EXT. WALL:  
VINYL SIDING  
TYPAR/TYVEK HOUSE WRAP  
HIGH DENSITY R-15 FACED  
1/2" PLYWOOD SHEATHING (CDX)  
2x4 STUDS @ 16" o.c.

6X6 PT. POSTS W/  
6X6 GALVANIZED  
POST ANCHORS.  
ATTACH WITH 1/2"X6"  
GALVANIZED BOLT.  
PIERS TO BE MIN. 4'  
BELOW FIN. GRADE  
ON UNDISTURBED SOIL



DRAWN BY  
D. J. S. & P. J. S.  
444 West Top St.  
Roxbury, Mass 02119  
Tel 617-552-4528



OWNER  
MARC & PAUL  
SZULC

LOCATION  
15 FRANKLIN RD  
SHARON, MA  
02087

PROPOSED  
TO UPDATE AN  
EXISTING 14'X28'  
3 SEASON PORCH  
TO HEATED  
BEDROOM

DATE: 8/23/2018

SCALE: 1/4" = 1'-0"

LOT: 10

UP/ANGLING IT/ALT

JOB NO. 824

TITLE

SECTION B

SHEET

A-3.2

6 OF 9

(INSULATION BUILDING ENVELOPE)  
(LIVING SPACE ABOVE)

- a. WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE
- b. ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER.
- c. ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE.
- d. R-30 IN FIRST FLOOR JOIST BAYS
- e. AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.

TYPICAL (Existing)  
FRAME ROOF:

ASPHALT ARCH. SHINGLES  
1/2" PLYWOOD SHEATHING  
2x8 RAFTERS @ 16" o.c.  
2x8 COLLAR TIES  
1X3 STRAPPING @ 18" O.C.  
1/2" GYPSUM WALL BOARD  
TAPED AND SANDED.

EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS.  
ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.

DRAWN BY  
Dwight S. Sabin  
446 Westrop St  
Roxbury, Mass 02119  
Tel 617-552-4226



OWNER  
MARC & PAUL  
SZULC  
13 FRANKLIN RD  
SHARON, MA  
02887

LOCATION  
13 FRANKLIN RD  
SHARON, MA  
02887

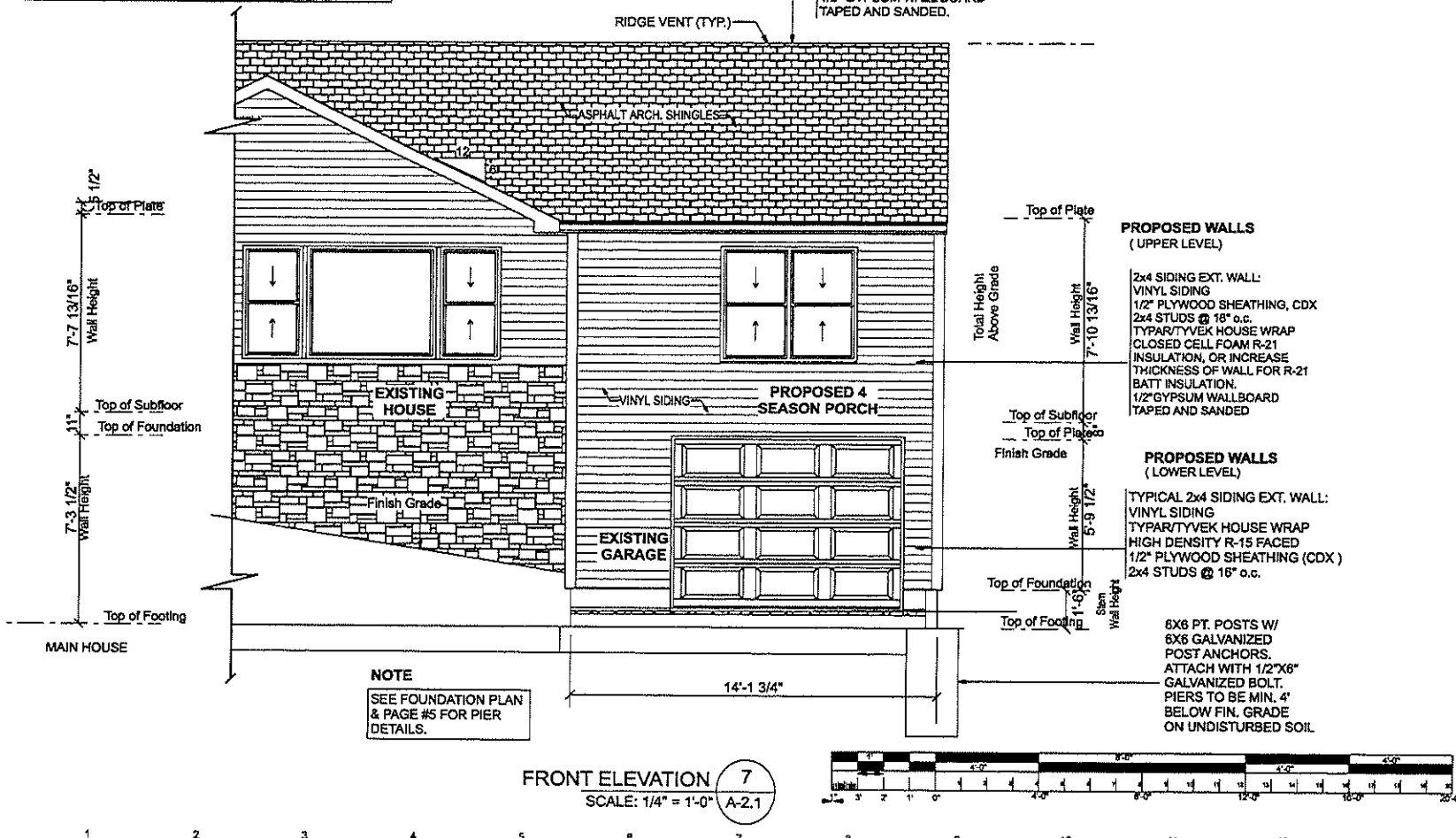
TO UPDATE AN  
EXISTING 14'X26'  
3 SEASON PORCH  
TO HEATED  
BEDROOM

DATE: 05/01/11  
SCALE: 1/4" = 1'-0"

LOT: 1  
MAP: 1  
JOB NO. 24

TITLE  
FRONT  
ELEVATION

SHEET:  
A-2.1  
7 OF 9



(INSULATION BUILDING ENVELOPE)  
(LIVING SPACE ABOVE)

- WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE
- ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER.
- ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE.
- R-30 IN FIRST FLOOR JOIST BAYS
- AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.

**TYPICAL (Existing)  
FRAME ROOF:**

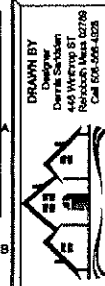
ASPHALT ARCH. SHINGLES  
1/2" PLYWOOD SHEATHING  
2x8 RAFTERS @ 16" o.c.  
2X8 COLLAR TIES  
1X3 STRAPPING @ 16" O.C.  
1/2" GYPSUM WALL BOARD  
TAPED AND SANDED.

**STRUCTURAL PARAMETERS**

THE MANUFACTURER OF THE I JOIST AND LVL 1.9E MICROLLAM BEAMS THAT WAS CALCULATED IN THIS PLAN IS I LEVEL TRUST JOIST (T.J.). [2015 INTERNATIONAL BUILDING CODE (2012 NDS)] GENERAL CONTRACTOR TO SUBMIT PLANS OF ALL STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEER FOR APPROVAL SOIL BEARING CAPACITY ESTIMATED @ 2,000 LBS PER SQ. 1ST FLOOR LOADING @ 40 + 15, 2ND FLOOR LOADING @ 30 + 15 AND CEILING (NO STORAGE) @ 10 + 8, CEILING (STORAGE) @ 20 + 10, ROOF LOADING @ 35 + 15. WEIGHTS BY LIVE LOAD - DEAD LOAD RESPECTIVELY.

**EXTENSION & DIMENSION PARAMETERS**

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.



OWNER  
MARC & PAUL  
SCULC  
15 FRANKLIN RD  
SHARON, MA  
02067

LOCATION  
TO UPDATE AN  
EXISTING 14'X25'  
3 SEASON PORCH  
TO HEATED  
BEDROOM

PROPOSED  
ADDITION  
TO UPDATE AN  
EXISTING 14'X25'  
3 SEASON PORCH  
TO HEATED  
BEDROOM

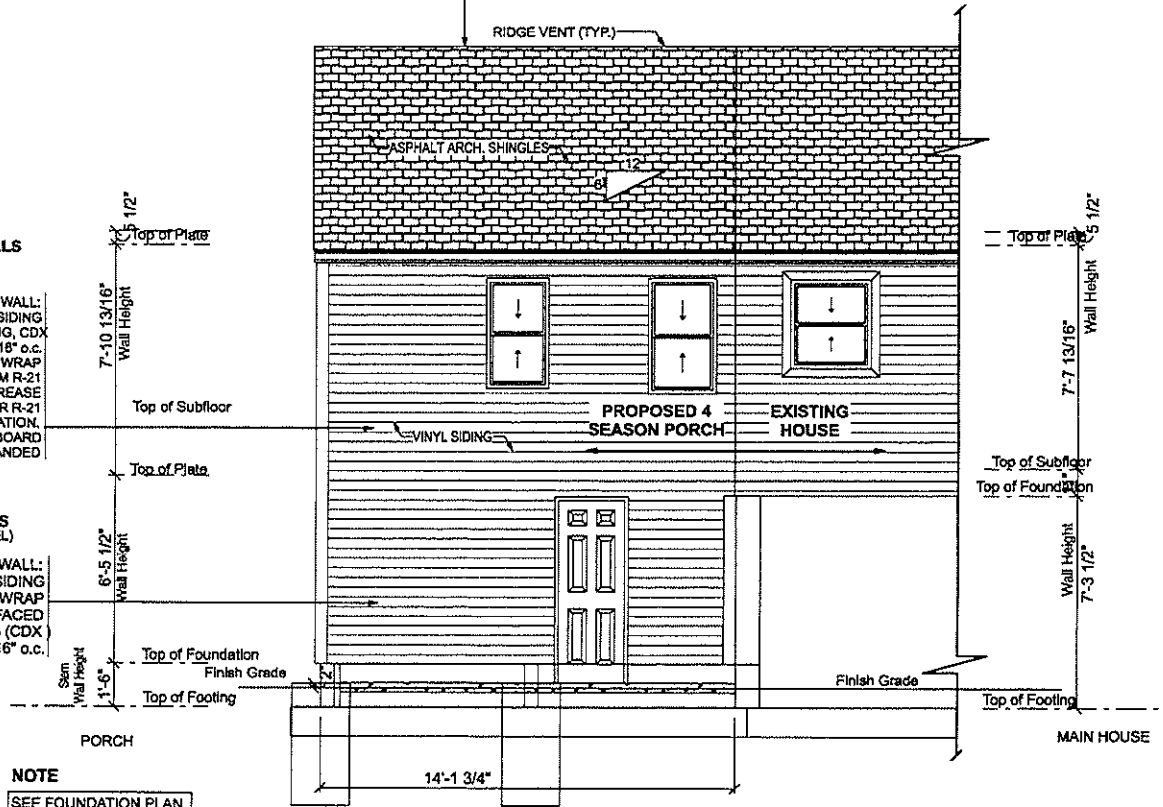
TITLE  
REAR  
ELEVATION  
SHEET:  
A-2.2  
8 OF: 9

**PROPOSED WALLS  
(UPPER LEVEL)**

2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
TYPAR/TYVEK HOUSE WRAP  
CLOSED CELL FOAM R-21  
INSULATION, OR INCREASE  
THICKNESS OF WALL FOR R-21  
BATT INSULATION  
1/2" GYPSUM WALLBOARD  
TAPED AND SANDED

**PROPOSED WALLS  
(LOWER LEVEL)**

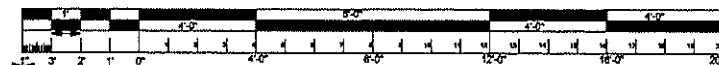
TYPICAL 2x4 SIDING EXT. WALL:  
VINYL SIDING  
TYPAR/TYVEK HOUSE WRAP  
HIGH DENSITY R-15 FACED  
1/2" PLYWOOD SHEATHING (CDX)  
2x4 STUDS @ 16" o.c.



**NOTE**

SEE FOUNDATION PLAN  
& PAGE #5 FOR PIER  
DETAILS.

REAR ELEVATION 8  
SCALE: 1/4" = 1'-0" A-2.2



(INSULATION BUILDING ENVELOPE)  
(LIVING SPACE ABOVE)

- a. WALLS: 2X4 WALL, CLOSED CELL FOAM R-21 ON 2ND FLOOR LEVEL HIGH DENSITY R-15 FACED IN GARAGE
- b. ATTIC: R-38 BATT (12") INSULATION W/ VAPOR BARRIER.
- c. ROOFS W/ FLAT CEILINGS: INSTALL REQUIRED RIDGE AND SOFFIT VENTS AS PER CODE.
- d. R-30 IN FIRST FLOOR JOIST BAYS
- e. AIR SEAL ALL OPENINGS WITH CLOSED CELL FOAM AS REQUIRED BY CODE.

TYPICAL (Existing)  
FRAME ROOF:

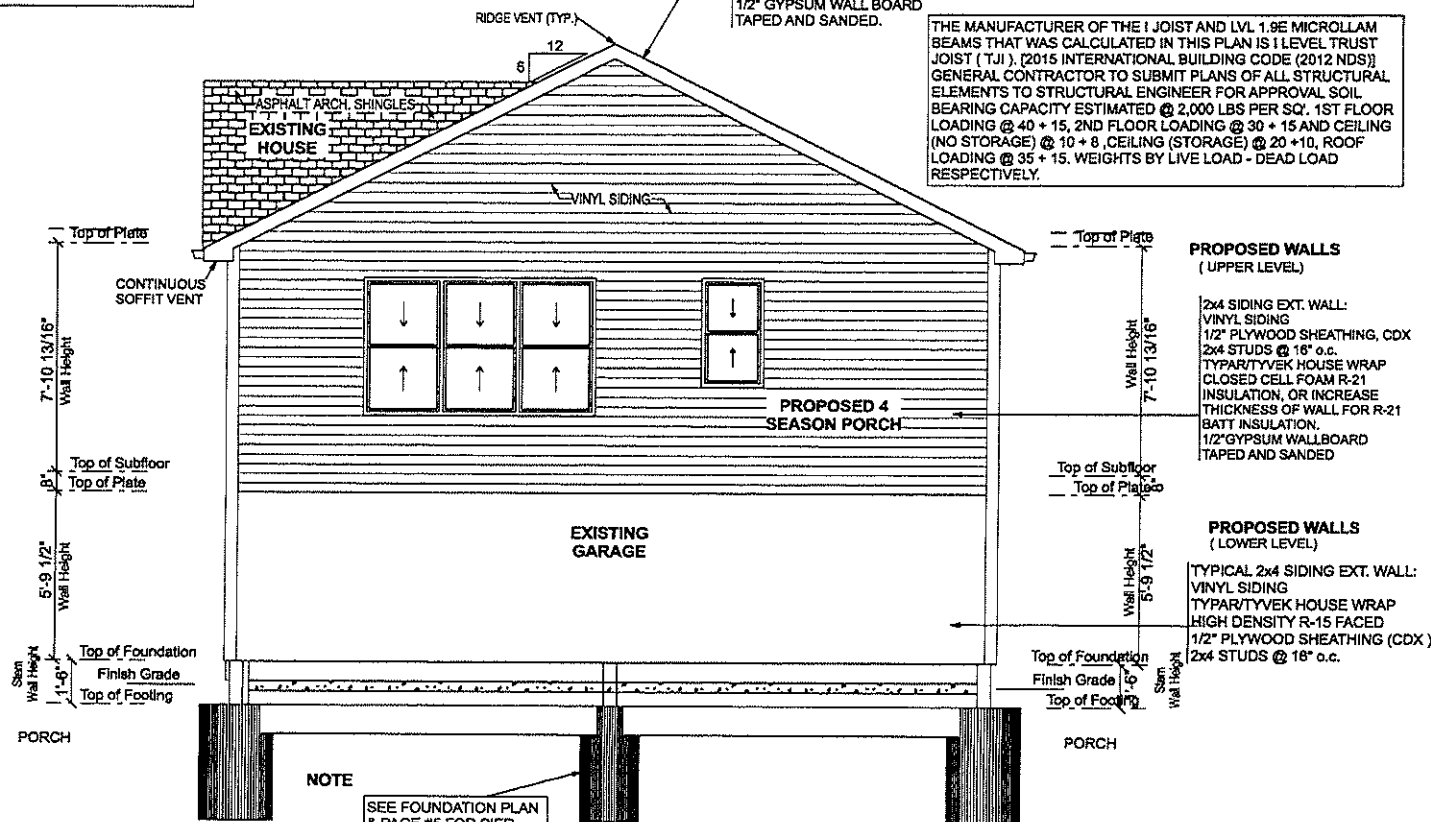
ASPHALT ARCH. SHINGLES  
1/2" PLYWOOD SHEATHING  
2x8 RAFTERS @ 16" o.c.  
2x6 COLLAR TIES  
1X3 STRAPPING @ 16" O.C.  
1/2" GYPSUM WALL BOARD  
TAPED AND SANDED.

EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS.  
ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.

STRUCTURAL PARAMETERS

THE MANUFACTURER OF THE I JOIST AND LVL 1.9E MICROLAM BEAMS THAT WAS CALCULATED IN THIS PLAN IS I LEVEL TRUST JOIST (TJI). [2015 INTERNATIONAL BUILDING CODE (2012 NDS)] GENERAL CONTRACTOR TO SUBMIT PLANS OF ALL STRUCTURAL ELEMENTS TO STRUCTURAL ENGINEER FOR APPROVAL. SOIL BEARING CAPACITY ESTIMATED @ 2,000 LBS PER SQ. 1ST FLOOR LOADING @ 40 + 15, 2ND FLOOR LOADING @ 30 + 15 AND CEILING (NO STORAGE) @ 10 + 8, CEILING (STORAGE) @ 20 + 10, ROOF LOADING @ 35 + 15. WEIGHTS BY LIVE LOAD - DEAD LOAD RESPECTIVELY.



PROPOSED WALLS  
(UPPER LEVEL)

2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
TYPARTYVEK HOUSE WRAP  
CLOSED CELL FOAM R-21  
INSULATION, OR INCREASE  
THICKNESS OF WALL FOR R-21  
BATT INSULATION.  
1/2" GYPSUM WALLBOARD  
TAPED AND SANDED

PROPOSED WALLS  
(LOWER LEVEL)

TYPICAL 2x4 SIDING EXT. WALL:  
VINYL SIDING  
TYPARTYVEK HOUSE WRAP  
HIGH DENSITY R-15 FACED  
1/2" PLYWOOD SHEATHING (CDX)  
2x4 STUDS @ 16" o.c.

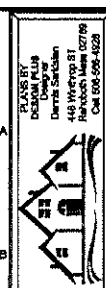
RIGHT ELEVATION 9  
SCALE: 1/4" = 1'-0" A-2.3

DRAWN BY Dennis Sullivan 448 West 10th St. Berkshire, MA 01278 Cell: 508-666-4565		OWNER	MARC & PAUL SZULC
		LOCATION	15 FRANKLIN RD SHARON, MA 02007
TO UPDATE AN EXISTING 14X26 3 SEASON PORCH TO HEATED BEDROOM		PROJECT NO.	1000000000
DATE: 02/20/19	SCALE: 1/4" = 1'-0"	LOT	1000000000
DATE: 02/20/19	SCALE: 1/4" = 1'-0"	LOT	1000000000
TITLE		RIGHT ELEVATION	
SHEET:	A-2.3	OF:	9

MOVING THE WALL BETWEEN  
XOM #2 AND #3 WE ARE LEFT  
3 BEDROOM #1 & BEDROOM #2  
E LEFT SIDE OF THE HOUSE  
EDROOM #3 ON THE RIGHT  
#3 TOTAL BEDROOMS. SEE  
USED MAIN FLOOR PLAN.

2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
1/2" GYPSUM WALLBOARD  
TAPED AND SANDED

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.



OWNER	MARC & PAULA
-------	--------------

LOCATION	FRANKLIN RD SHARON, MA
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TO UPDATE AN  
EXISTING 14'X26'  
SEASON PORCH  
TO HEATED  
BEDROOM

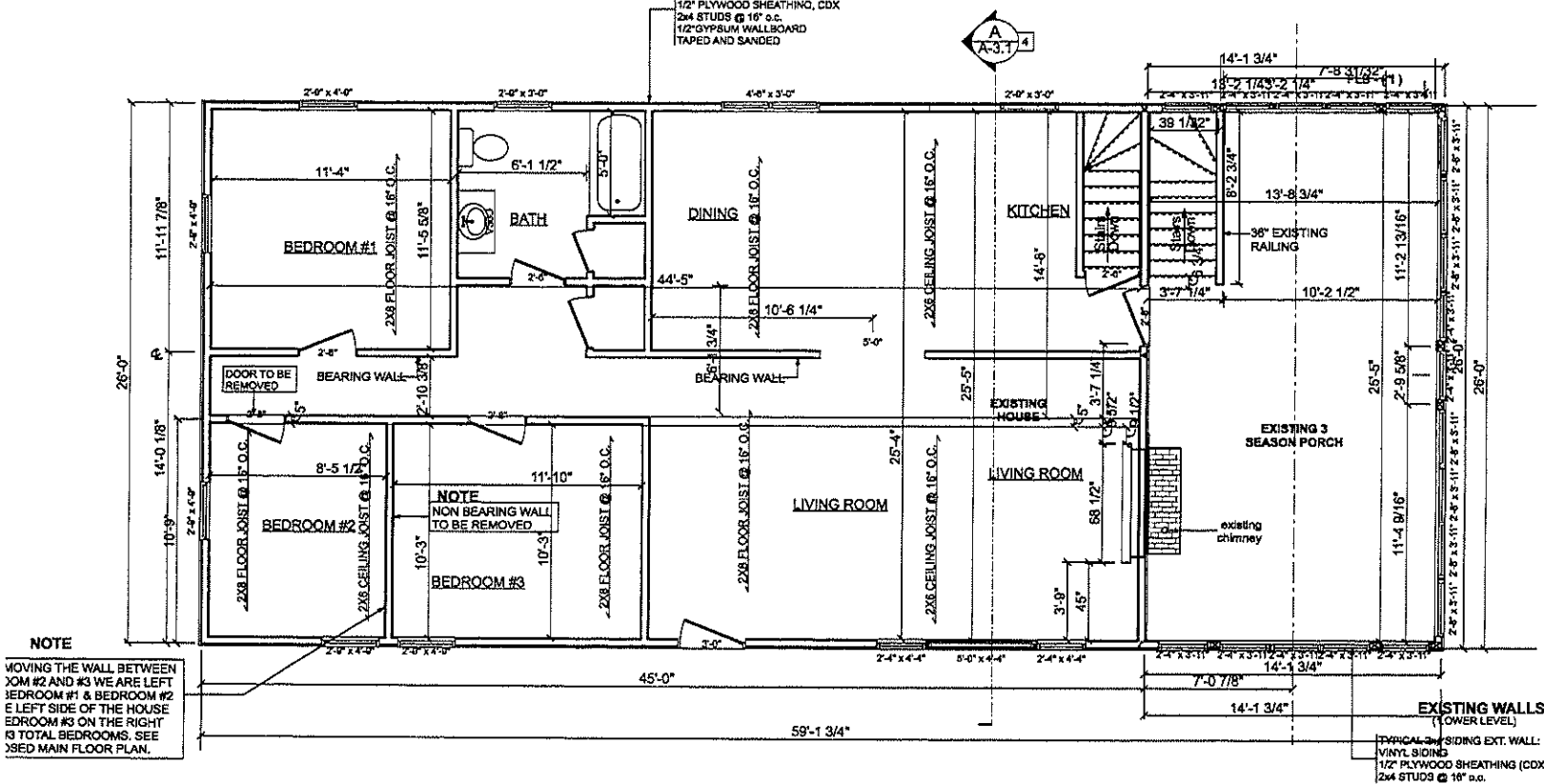
REVISIONS	
DATE	DESCRIPTION
01/10/2018	REMOVE iron bearing wall between bedroom #2 and #3

DATE: 8/23/2018	1
SCALE: 3/16" = 1'	1
DRAWN BY: DPM	1
LOG:	
MAP:	3
PG:	
3/16" TABLED	3

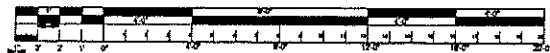
**TITLE**  
**EXISTING MAIN  
FLOOR PLAN**

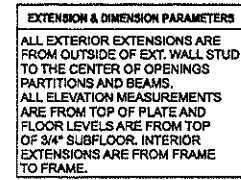
**JOB NO. B24**

**SHEET:**  
**A-1.1**  
**1 OF 4**



**EXISTING MAIN FLOOR PLAN** 1  
SCALE: 3/16" = 1'-0" A-1.1





SHEET:	TITLE	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100	101	102	103	104	105	106	107	108	109	110	111	112	113	114	115	116	117	118	119	120	121	122	123	124	125	126	127	128	129	130	131	132	133	134	135	136	137	138	139	140	141	142	143	144	145	146	147	148	149	150	151	152	153	154	155	156	157	158	159	160	161	162	163	164	165	166	167	168	169	170	171	172	173	174	175	176	177	178	179	180	181	182	183	184	185	186	187	188	189	190	191	192	193	194	195	196	197	198	199	200	201	202	203	204	205	206	207	208	209	210	211	212	213	214	215	216	217	218	219	220	221	222	223	224	225	226	227	228	229	230	231	232	233	234	235	236	237	238	239	240	241	242	243	244	245	246	247	248	249	250	251	252	253	254	255	256	257	258	259	260	261	262	263	264	265	266	267	268	269	270	271	272	273	274	275	276	277	278	279	280	281	282	283	284	285	286	287	288	289	290	291	292	293	294	295	296	297	298	299	300	301	302	303	304	305	306	307	308	309	310	311	312	313	314	315	316	317	318	319	320	321	322	323	324	325	326	327	328	329	330	331	332	333	334	335	336	337	338	339	340	341	342	343	344	345	346	347	348	349	350	351	352	353
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BY REMOVING THE WALL BETWEEN  
BEDROOM #2 AND #3 WE ARE LEFT  
WITH BEDROOM #1 & BEDROOM #2  
ON THE LEFT SIDE OF THE HOUSE  
AND BEDROOM #3 ON THE RIGHT  
SIDE. #3 TOTAL BEDROOMS, SEE  
PROPOSED MAIN FLOOR PLAN.

2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
1/2" GYPSUM WALLBOARD  
TAPEO AND SANDED

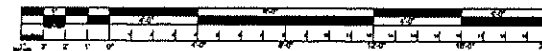
ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.



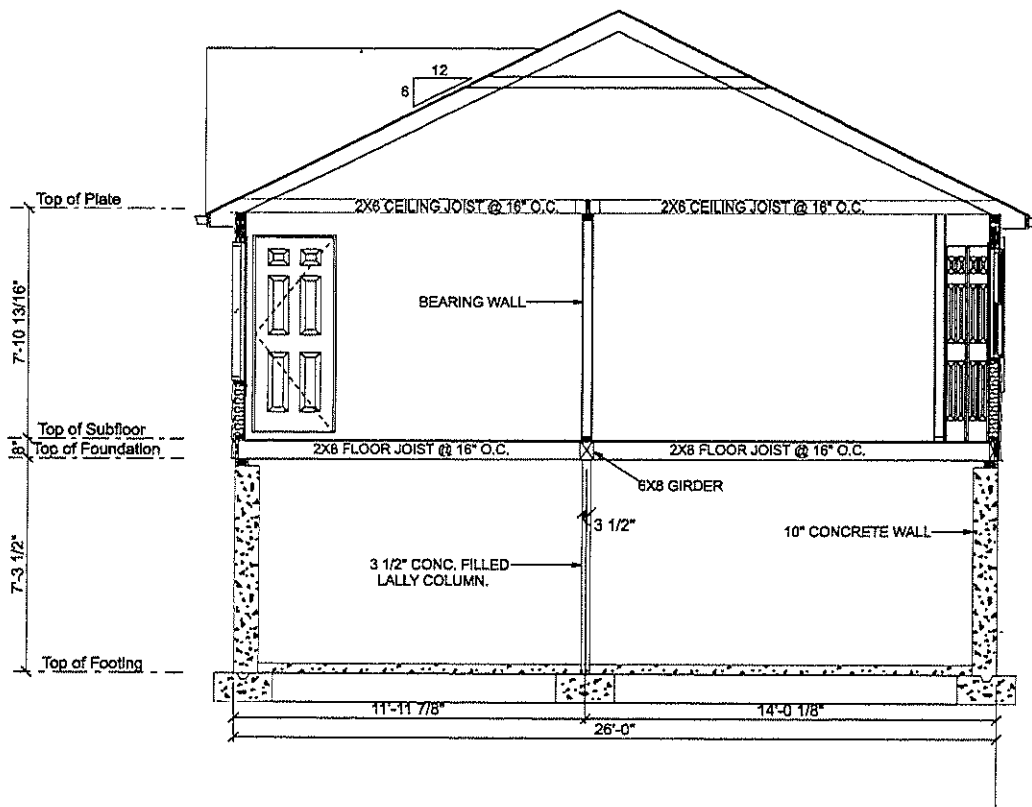
2x4 SIDING EXT. WALL:  
VINYL SIDING  
1/2" PLYWOOD SHEATHING, CDX  
2x4 STUDS @ 16" o.c.  
TYPARTYVEK HOUSE WRAP  
CLOSED CELL FOAM R-21  
INSULATION, OR INCREASE  
THICKNESS OF WALL FOR R-21  
BATT INSULATION.  
1/2" GYPSUM WALLBOARD  
TAPED AND Banded

SCALE: 3/16" = 1'-0"

A-1.3



SHEET: <b>A-1.3</b>	TITLE: <b>PROPOSED MAIN FLOOR PLAN</b>	DATE: 02/20/2018	SCALE: 3/4" = 1'-0"	DRAWN BY: DPM	10/10/2018	REVISIONS:	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRIPTION	DATE	BY	DESCRI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# EXTENSION & DIMENSION PARAMETERS

ALL EXTERIOR EXTENSIONS ARE FROM OUTSIDE OF EXT. WALL STUD TO THE CENTER OF OPENINGS PARTITIONS AND BEAMS. ALL ELEVATION MEASUREMENTS ARE FROM TOP OF PLATE AND FLOOR LEVELS ARE FROM TOP OF 3/4\" SUBFLOOR. INTERIOR EXTENSIONS ARE FROM FRAME TO FRAME.

**DRAWN BY**  
 Designer  
 Dan W. H. H. H.  
 448 WEST 1ST ST.  
 Portland, Maine 02779  
 Cell 508-888-1828

**OWNER**  
 MARC & PAULA  
 SZILC

**LOCATION**  
 15 FRANKLIN RD  
 SHARON, MA  
 02007

**PROPOSED ADDITION**  
 TO UPDATE AN  
 EXISTING 14'X28'  
 3 SEASON PORCH  
 TO HEATED  
 BEDROOM

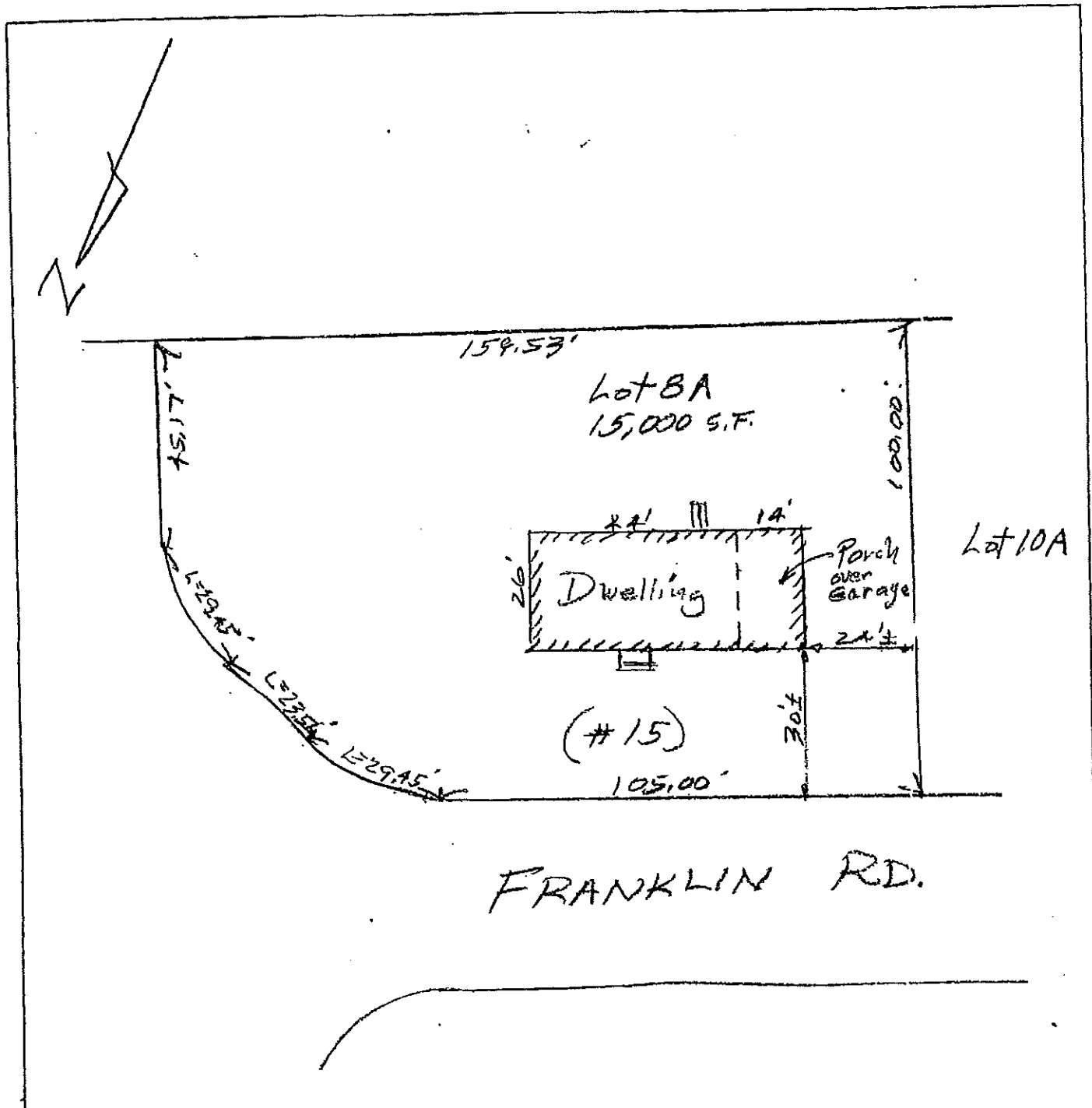
**REVISIONS**  
 1. 1/18/2018 Remove bearing wall between bedroom #2 and #3

**DATE: 03/25/18**  
**SCALE: 1/4\" = 1'-0\"**  
**JOB NO. 824**

**TITLE**  
 SECTION A  
**SHEET: A-3.1**  
**4 OF: 4**

SECTION A  
 SCALE: 1/4\" = 1'-0\"  
 A-3.1





# MORTGAGE INSPECTION PLAN

IN  
SHARON, MA

## PLAN REFERENCE:

PI.#1613 of 1954  
PI.BK.192



THIS PLAN IS MADE FROM A TAPE SURVEY BASED ON SURVEY MARKERS  
AS SHOWN ON THE PLAN

PAUL J. BERGER, INC.