

SITE PLAN APPROVAL

DATE: \_\_\_\_\_

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WALPOLE PLANNING BOARD

SITE PLAN APPROVAL

DATE: \_\_\_\_\_

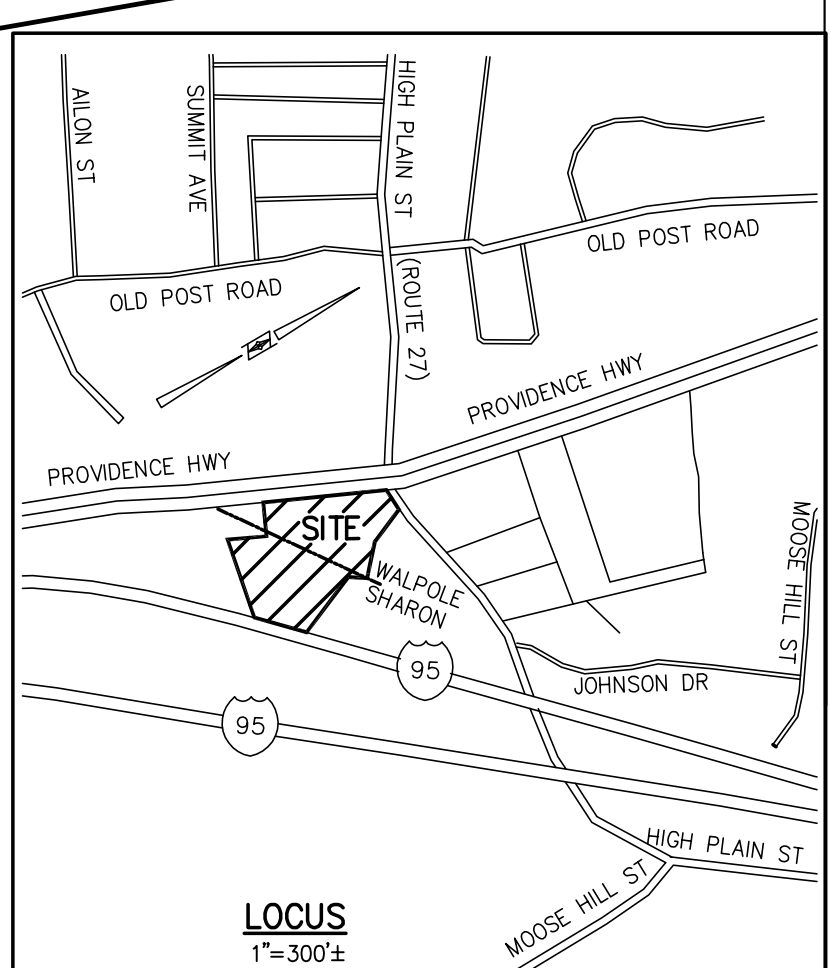
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SHARON ZONING BOARD OF APPEALS



**OWNER/APPLICANT:**  
OPTIMA HOSPITALITY GROUP LLC  
10 EAST CHESTNUT STREET  
SHARON, MA 02067

**DEED REFERENCES:**  
DEED BOOK 36469, PAGE 159

**ASSESSOR'S REFERENCE:**  
SHARON  
MAP 116, LOTS 4 & 5

**WALPOLE**  
MAP 36, LOTS 82 & 83

**ZONING CLASSIFICATION:**  
SHARON - LIGHT INDUSTRIAL  
WALPOLE - GROUNDWATER PROTECTION DISTRICT  
WALPOLE - HIGHWAY BUSINESS

**EXISTING CONDITIONS NOTE**

THE EXISTING CONDITIONS IS BASED ON A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY - BOHLER ENGINEERING, 990 ROUTE 1 & HIGH PLAIN STREET, PARCELS 36-82, 38-83, 116004000 & 116005000 TOWNS OF WALPOLE AND SHARON, NORFOLK COUNTY, COMMONWEALTH OF MASSACHUSETTS" DATED AUGUST 29, 2014. THE TOPOGRAPHY HAS BEEN UPDATED IN THE AREA OF WETLAND FLAGS A-22 THRU A-38 BY AN ON THE GROUND FIELD SURVEY BY NORWOOD ENGINEERING CO., INC ON FEBRUARY 4, 2019.

SITE: 990 PROVIDENCE HIGHWAY, WALPOLE / SHARON, MA		
TP-1 11-27-18	TP-2 11-27-18	TP-3 11-27-18
0" 276.0±	0" 284.3±	0" 288.5±
4" 275.7	4" 284.0	4" 288.2
20" 274.3	22" 282.5	20" 286.8
45" 272.3	54" 279.8	84" 281.5
120" 266.0	108" 275.3	130" 277.7
MOTTLES: NONE		
WATER WEERING: 45" EL=272.3		
WATER STANDING: 120" EL=266.0		
TP-4 11-27-18	TP-5 11-27-18	TP-6 11-27-18
0" 283.0±	0" 282.2±	0" 286.4±
4" 282.7	4" 281.9	4" 286.1
24" 281.0	25" 280.1	25" 284.3
108" 274.0	52" 277.9	72" 280.4
154" 270.2	126" 271.7	135" 275.2
MOTTLES: NONE		
WATER WEERING: 87" EL=275.0		
WATER STANDING: 110" EL=273.0		
TP-7 11-27-18	TP-8 11-27-18	TP-9 11-27-18
0" 283.0±	0" 282.2±	0" 286.4±
4" 282.7	4" 281.9	4" 286.1
24" 281.0	25" 280.1	25" 284.3
108" 274.0	52" 277.9	72" 280.4
154" 270.2	126" 271.7	135" 275.2
MOTTLES: NONE		
WATER WEERING: 87" EL=275.0		
WATER STANDING: 110" EL=273.0		

COMMENTS: RECENT HEAVY RAIN, VERY WET CONDITIONS, SATURATED SOIL.

WEERING RESULT OF RAINWATER INFILTRATION.

SOIL EVALUATIONS PERFORMED BY MASSACHUSETTS CERTIFIED DEP SOIL EVALUATOR ON NOVEMBER 27, 2018.

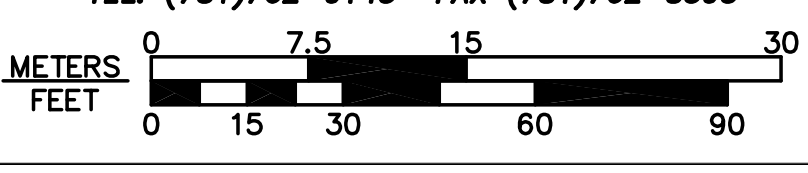
GREGORY A. BRYAN, S.E. 2712

**Norwood Engineering**

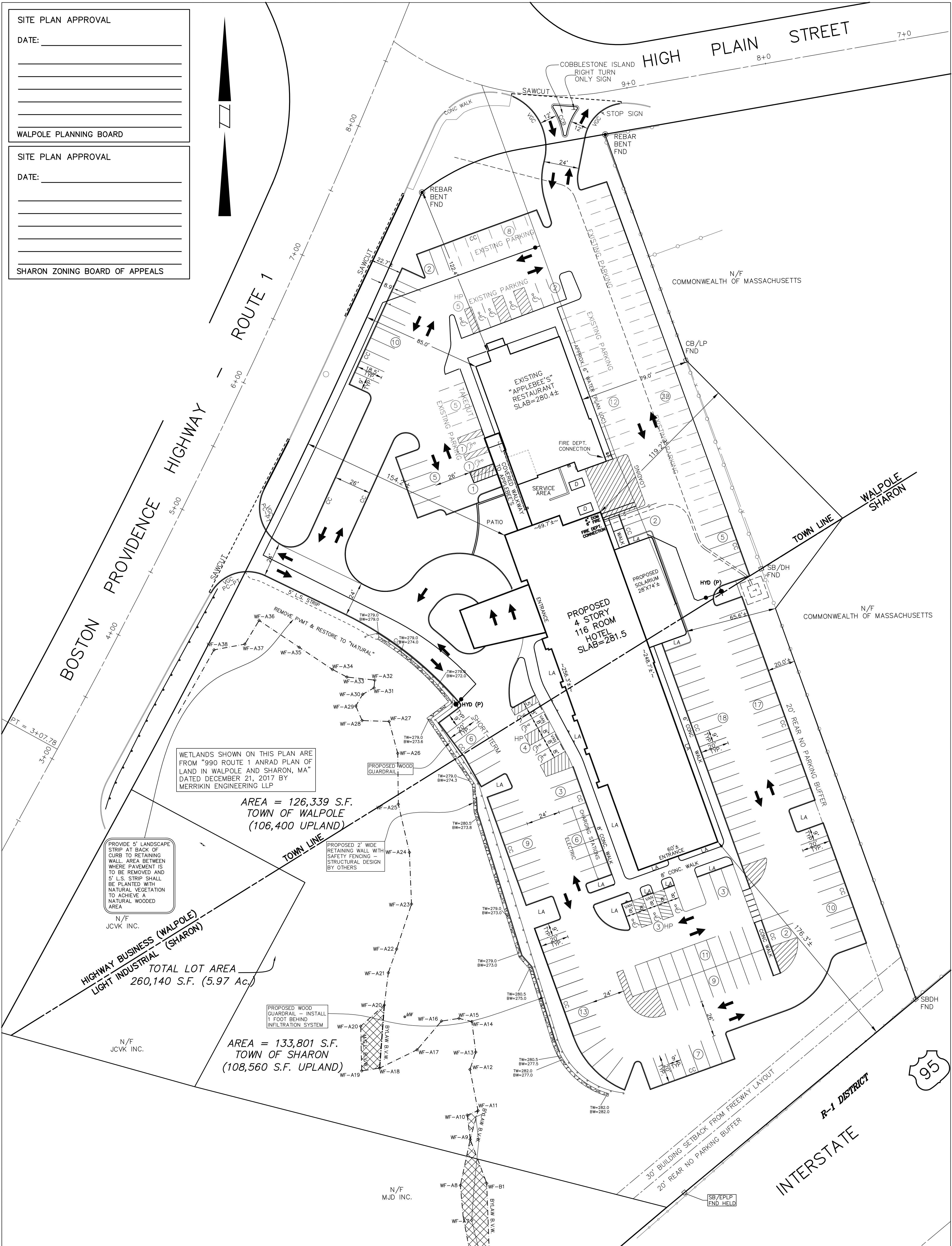
Norwood Engineering Company, Inc.  
Consulting Engineers, Land Surveyors  
1410 ROUTE ONE, NORWOOD, MA 02062  
TEL. (781)762-0143 FAX (781)762-8595

**SITE PLAN**  
**EXISTING CONDITIONS**  
**#990 Boston Providence Highway**  
**Walpole/Sharon**  
**Massachusetts**

SCALE: 1" = 30'		JULY 1, 2019
DATE	REVISIONS	
3/7/2020	REVISED TO 4 STORY BUILDING	







SITE PLAN APPROVAL

DATE: \_\_\_\_\_

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WALPOLE PLANNING BOARD

SITE PLAN APPROVAL

DATE: \_\_\_\_\_

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SHARON ZONING BOARD OF APPEALS

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0 7.5 15 30

METERS

0 15 30 60 90

FEET

SITE PLAN  
SITE LAYOUT  
#990 Boston Providence Highway  
Walpole/Sharon  
Massachusetts

SCALE: 1" = 30' JULY 1, 2019

DATE	REVISIONS
3/7/2020	REVISED TO 4 STORY BUILDING

SHEET 2 OF 10 5099-04

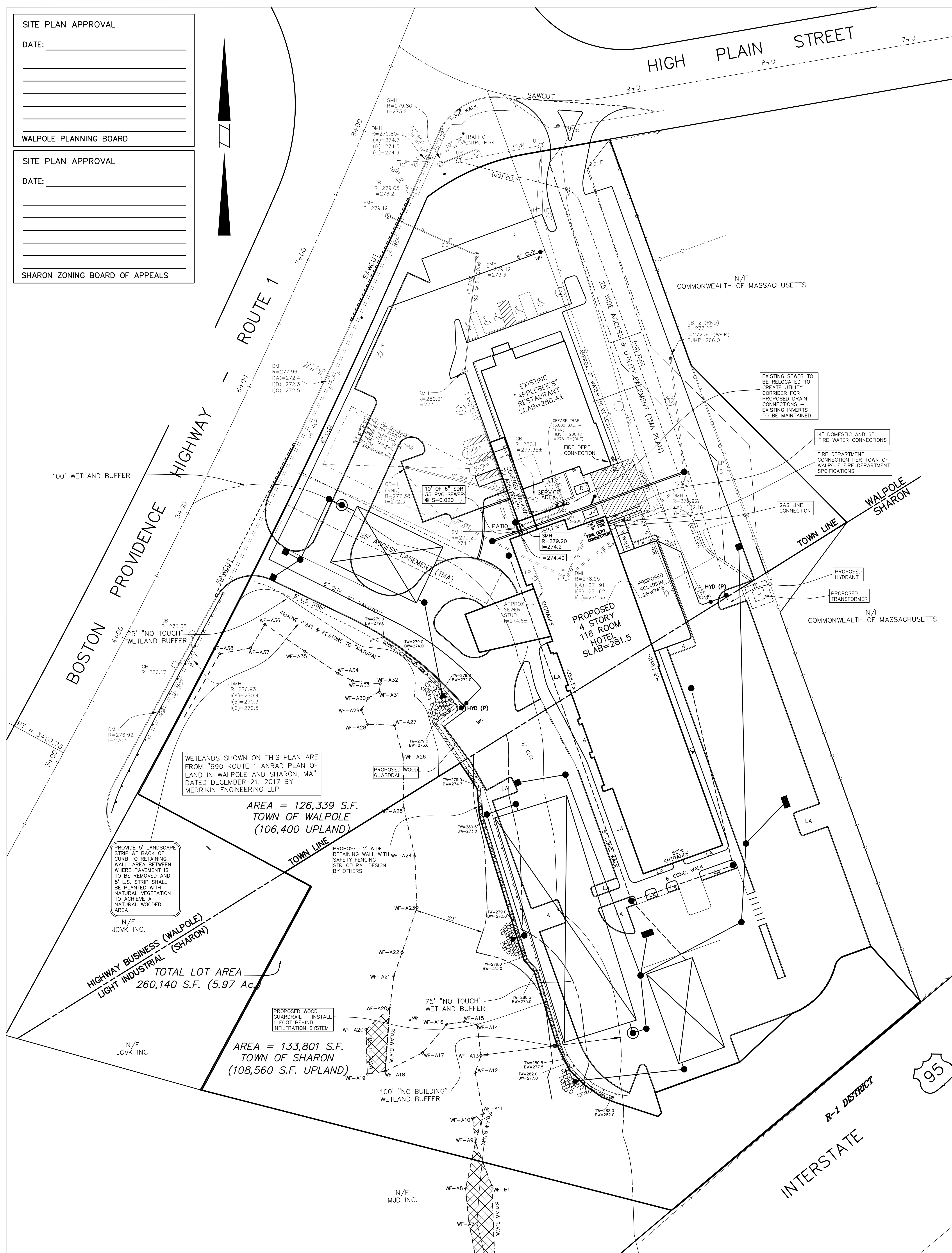
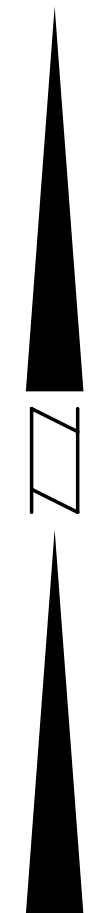


**DATE:**

## SITE PLAN APPROVAL

[illegible]

SHARON ZONING BOARD OF APPEALS



*SITE PLAN  
SITE UTILITIES  
#990 Boston Providence Highway  
Walpole/Sharon  
Massachusetts*

SCALE: 1" = 30'      JULY 1, 2019

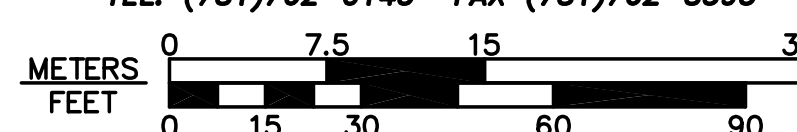
DATE	REVISIONS
3/7/2020	REVISED TO 4 STORY BUILDING

SHEET 3 OF 10

5099-04

# Norwood Engineering

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DATE: \_\_\_\_\_

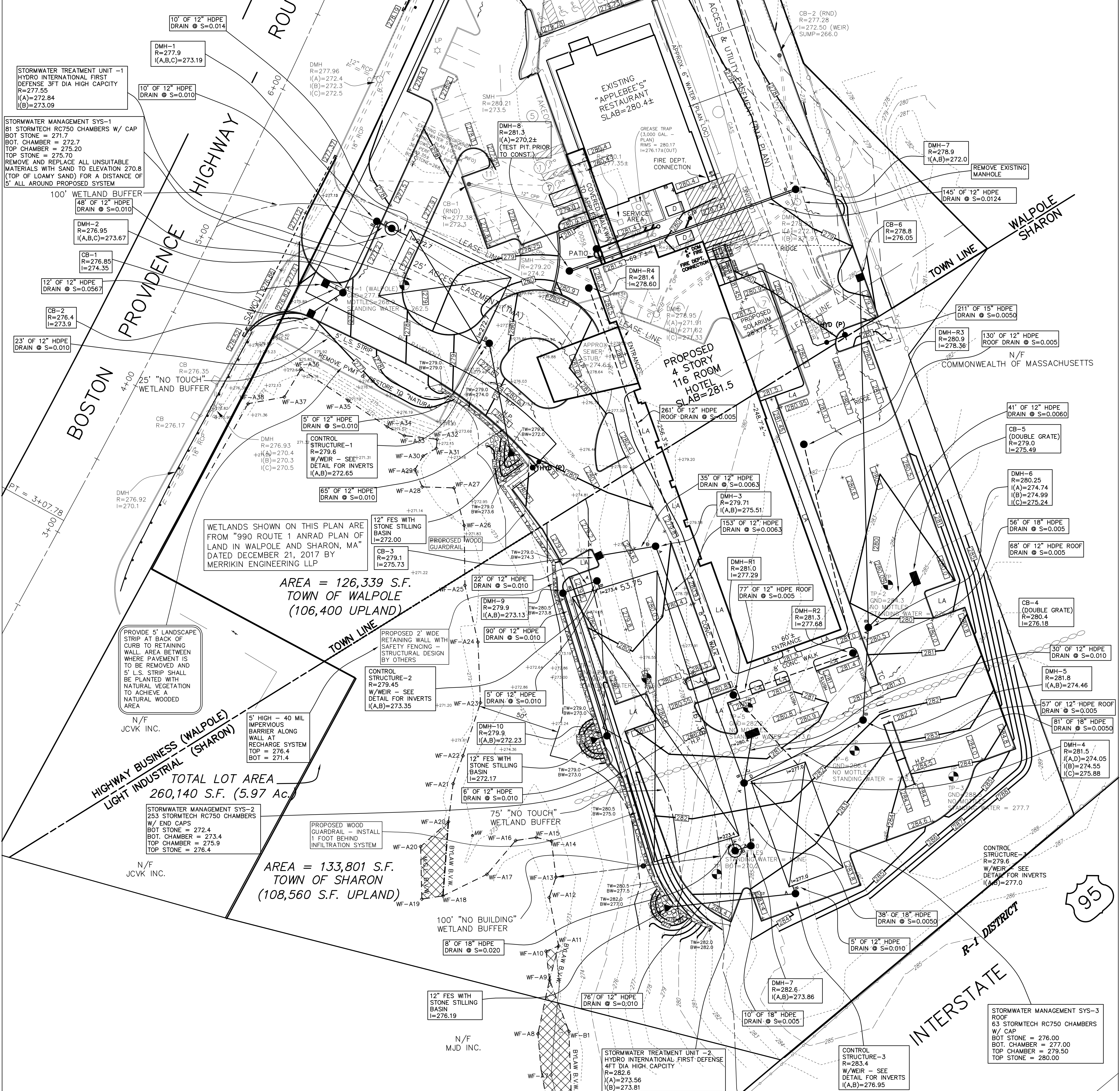
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*SITE PLAN  
SITE GRADING  
#990 Boston Providence Highway  
Walpole/Sharon  
Massachusetts*

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## LEGEND

\* THE PROPERTY LINE INFORMATION SHOWN HEREON IS THE RESULT OF AN ACTUAL ON-THE-GROUND SURVEY PERFORMED BY NORWOOD ENGINEERING CO., INC IN JULY 2018

- SPIKE IN PAVEMENT AT WESTERLY SIDE OF HIGH PLAN STREET ENTRANCE DRIVE TO APLEELEE'S. ELEV. = 279.63 (NAVD88)-SEE PLAN.
- SPIKE IN SOUTHEAST CORNER OF APLEELEE'S PARKING LOT AT CORNER ROUNDING OF SPACES. ELEV. = 278.69 (NAVD88) - SEE PLAN.

\* THE LOCATION AND ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS WERE TAKEN FROM A COMBINATION OF FIELD SURVEY AND UTILITY PLANS, WHICH ARE APPROXIMATE. THE CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

- \* ALL CONSTRUCTION SHALL CONFORM TO THE RELEVANT PROVISIONS OF THE ZONING BY-LAW AND THE "RULES & REGULATIONS GOVERNING THE SUBDIVISION OF LAND" BY THE TOWNS OF SHARON AND WALPOLE PLANNING BOARDS AND REGULATIONS OF THE SHARON AND WALPOLE DEPARTMENTS OF PUBLIC WORKS AND OTHER TOWN DEPARTMENTS.

SPECIFIED BY THE ARCHITECTS PLAN AND APPROVED BY SHARON AND WALPOLE BUILDING DEPARTMENTS.

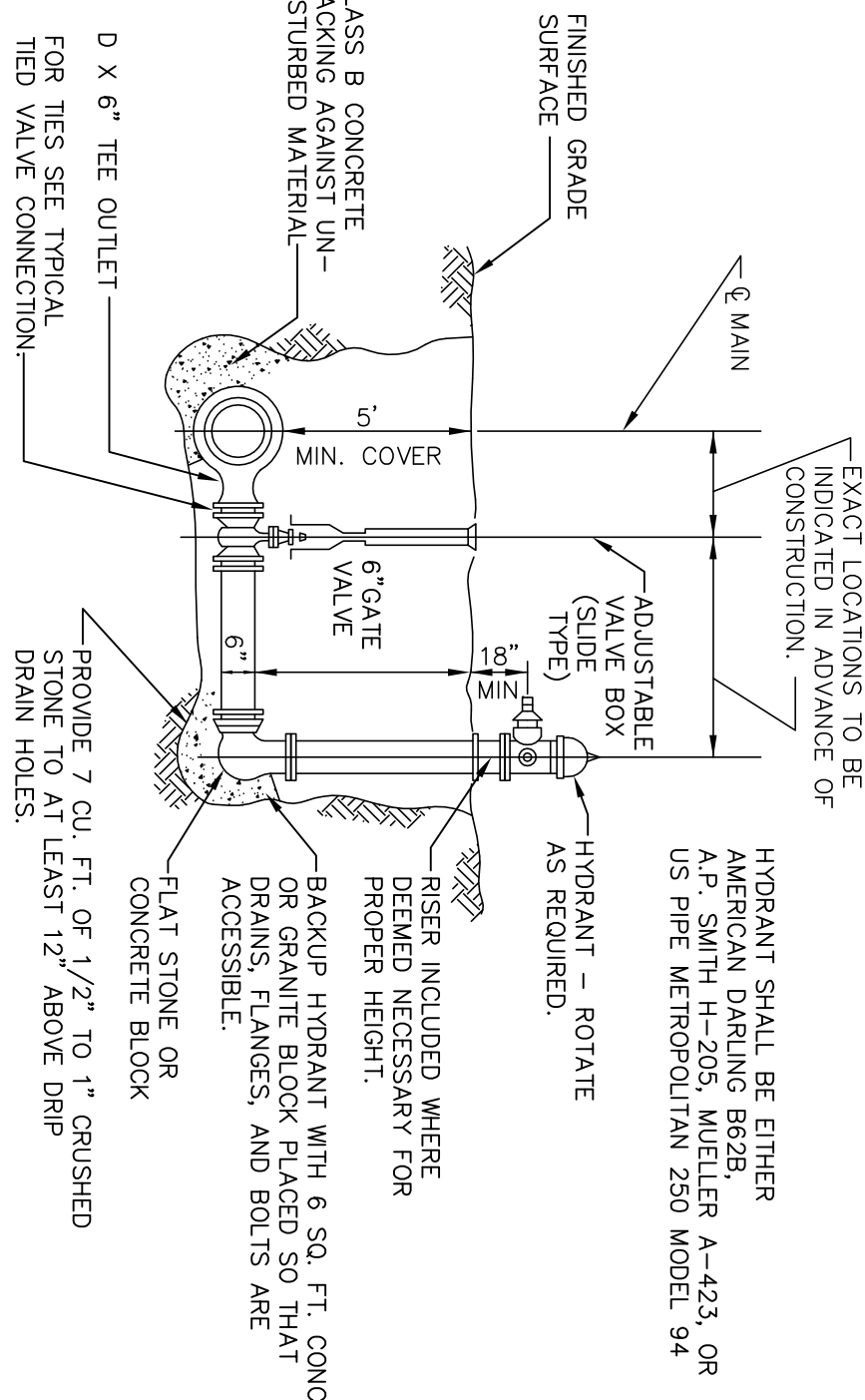
- \* PROPOSED SIZE OF DOMESTIC WATER LINE IS TO BE VERIFIED WITH MECHANICAL ENGINEER OR ARCHITECT PRIOR TO CONSTRUCTION.

\* BITUMINOUS CONCRETE SHALL CONFORM TO THE RELEVANT PROVISIONS  
MCDOT 3.11.00

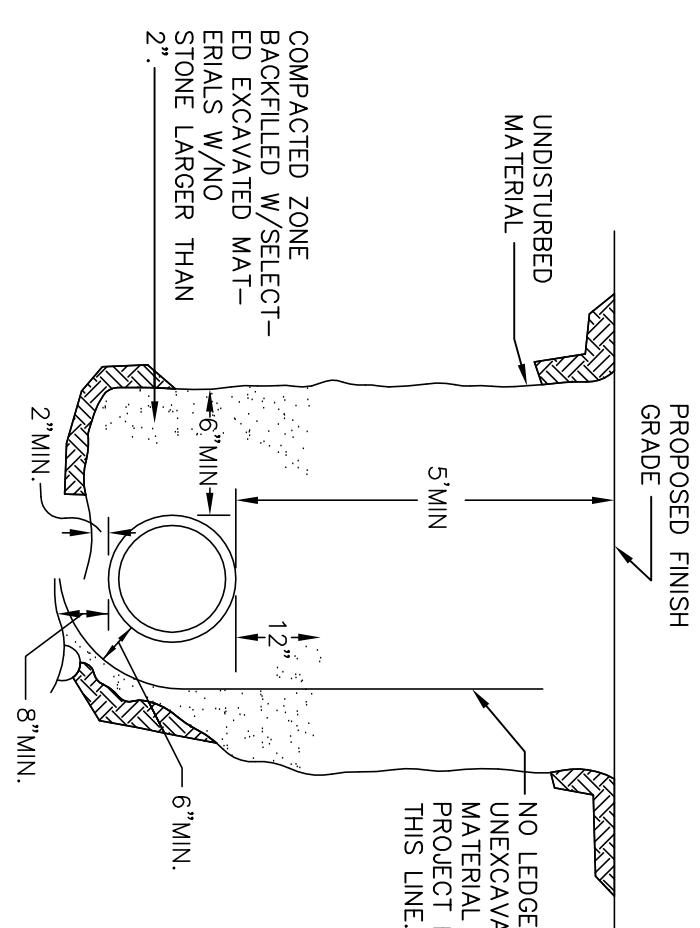
- \* SURFACE: CONCRETE WALK WITH INTEGRAL CURBING  
SEE PLAN AND DETAIL SHEETS
- \* SUBBASE: 8-INCH TOTAL COMPACTED DEPTH GRAVEL BORROW  
OVER COMMON FILL.

- REQUIREMENTS SHALL BE AS SHOWN ON THE SITE LANDSCAPING PLAN
- 12. LIGHTING
  - REQUIREMENTS SHALL BE AS SHOWN ON SITE LIGHTING PLAN.
- 13. RETAINING WALLS
  - RETAINING WALLS TO HAVE STRUCTURAL DESIGN BY OTHERS.
- 14. BUILDING EARTHWORK

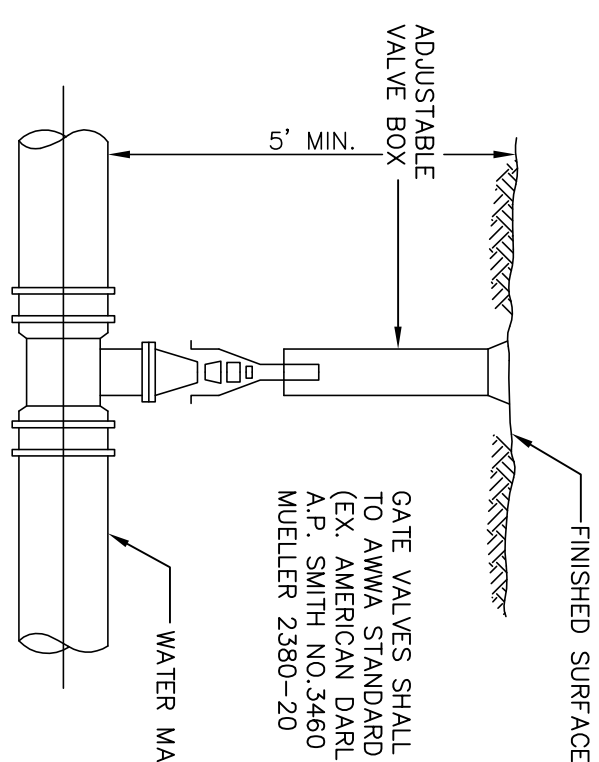
- 4. **STORM DRAINAGE**
  - \* STORM DRAIN PIPING SHALL BE HIGH DENSITY POLYETHYLENE PIPE (HDPE) ADVANCED DRAINAGE SYSTEM (ADS) WITH STANDARD SPLIT COUPLING OR APPROVED EQUAL (4" DUE LOAD REQUIRED)
  - \* DRAIN MANHOLES AND CATCH BASINS SHALL BE REINFORCED CONCRETE PRECAST SECTIONS CONFORMING TO ASTM C478. MANHOLE STRUCTURES SHALL BE JOINED TO BE VAULTED/HOT AND SPILLED WITH STEPS.
  - \* ROOF DRAINS SHALL BE COMPATIBLE WITH THE OUTLETS AT THE BUILDING CONTRACTOR TO COORDINATE WITH THE ARCHITECT FOR DOWNSPOUT LOCATION



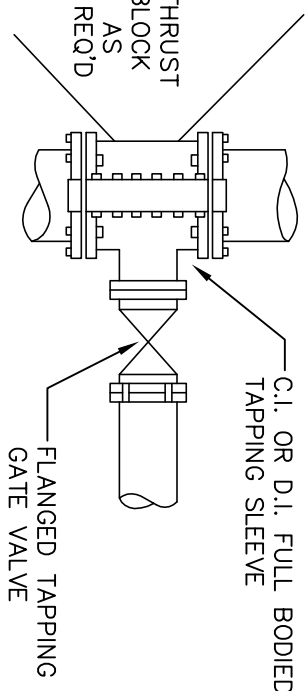
NOT TO SCALE



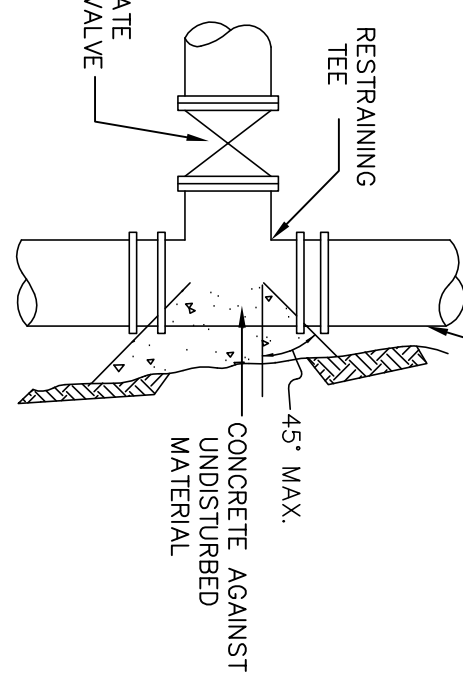
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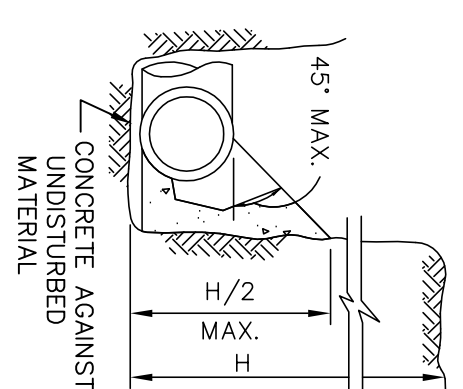
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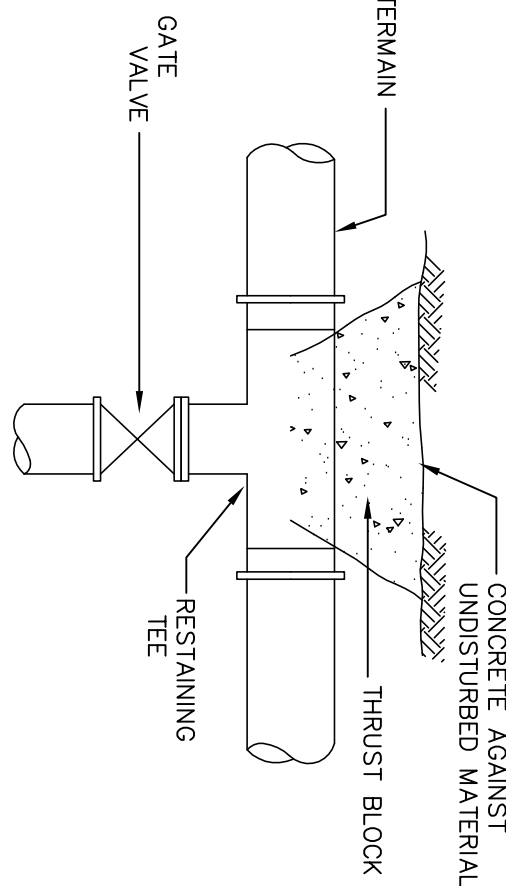
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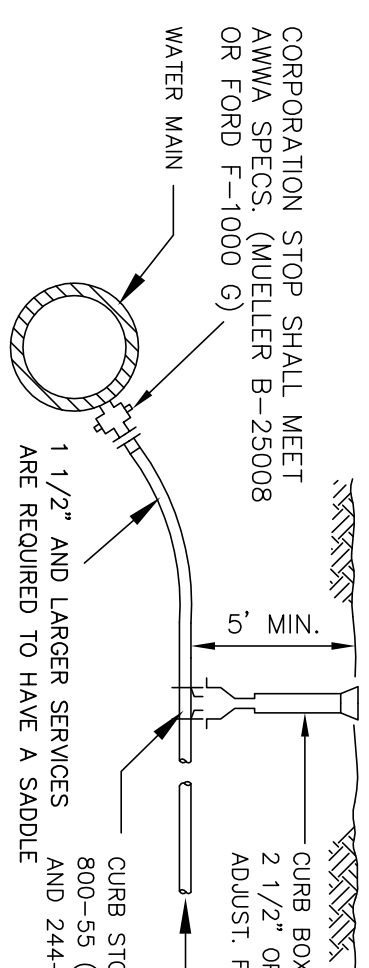
## TYPICAL PLUG



## TYPICAL SECTION



## NOT TO SCALE



WATER SERVICES GREATER THAN ONE HUNDRED (100) FEET IN LENGTH SHALL BE FIRST CONNECTED TO A WATER METER PIT LOCATED AT THE PROPERTY LINE.

NO BACKFILL WHATEVER SHALL BE PLACED UNTIL PERMITTED BY THE TOWN ENGINEER OR HIS/HER AGENT.

LEGE, ROCK, BOULDERS, AND LARGE STONES SHALL BE REMOVED TO PROVIDE A MINIMUM CLEARANCE OF 0'-6" BELOW AND ON EACH SIDE OF THE PIPE.

(M2.01.4). STONE DUST SHALL NOT BE USED AS BEDDING OR BACKFILL.

THE INITIAL BACKFILL MATERIAL WITHIN 0'-6" OF THE PIPE SHALL CONSIST OF COARSE SAND M.H.D. (M2.01.4), AND CONTAIN NO STONES LARGER THAN 0'-3".

DEBRIS, FROZEN MATERIAL, LARGE CLODS OR STONES, ORGANIC MATTER, OR OTHER MATERIAL DEEMED UNSUITABLE BY THE ENGINEER SHALL BE PLACED IN A MINIMUM OF 1-0 OVER THE MAIN SERVICE.

WATER SERVICES SHALL HAVE A MINIMUM COVER OF 5'-0" FROM THE TOP OF THE PIPE. SERVICES UNDER PAVEMENT SHALL BE FORMED OF SUCCESSIVE LAYERS NOT MORE THAN ONE (1) FOOT IN DEPTH UNIFORMLY DISTRIBUTED

NO PUDDING OR JETTING IS ALLOWED WITHIN THE PUBLIC LAYOUT WITHOUT WRITTEN PERMISSION OF THE TOWN ENGINEER.

 <p><b>TOWN OF WALPOLE</b> DEPARTMENT OF PUBLIC WORKS ENGINEERING DIVISION</p>	TYPICAL WATER SERVICE DETAIL	
	DATE: APR. 05, 2005	
	SCALE = N.T.S.	
	WATER_SERVICE.DWG	

# NOTE

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WALPOLE PLANNING BOARD

# SITE PLAN APPROVAL

SHARON ZONING BOARD OF APPEALS

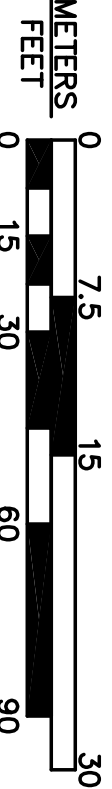
# SITE PLAN DETAILS, NOTES & LEGEND

*Walpole/Sharon  
Massachusetts*

SCALE: AS NOTED JULY 1, 2019

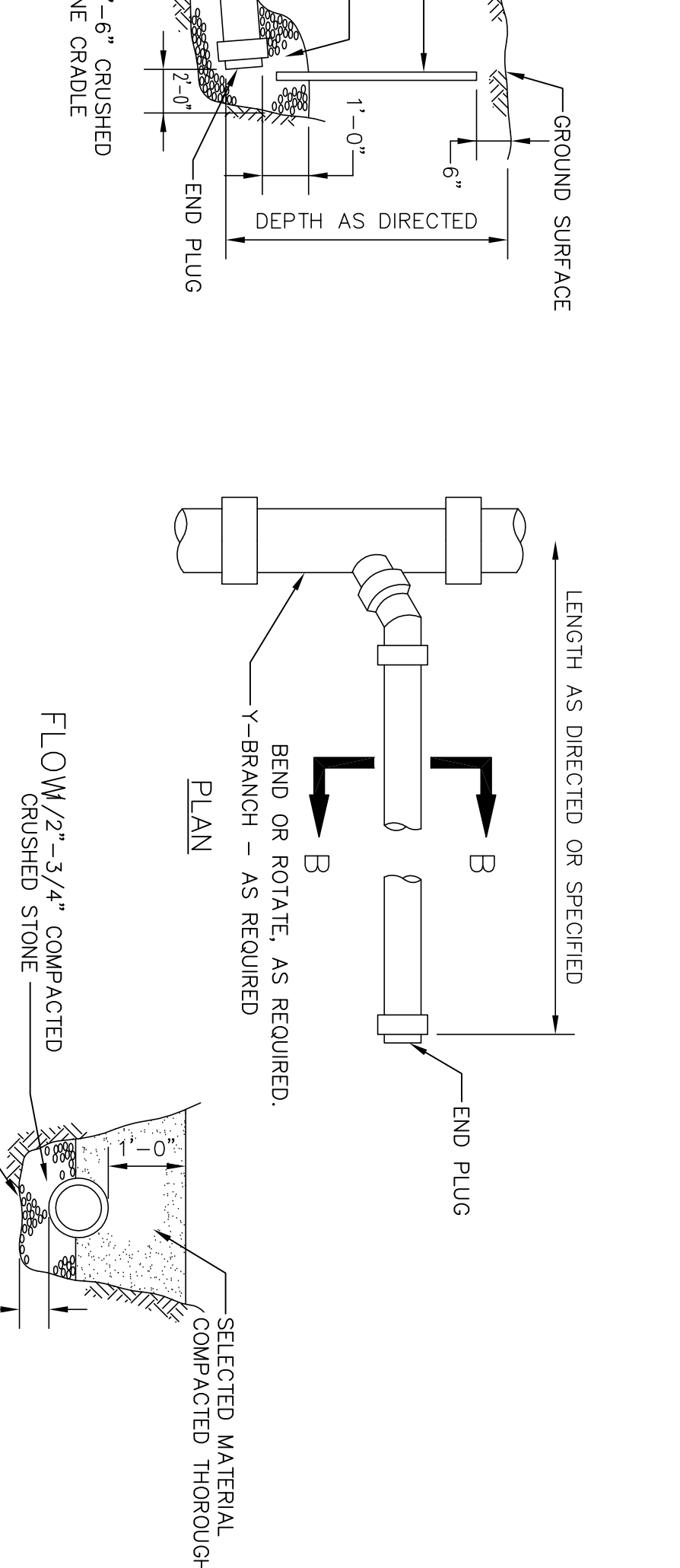
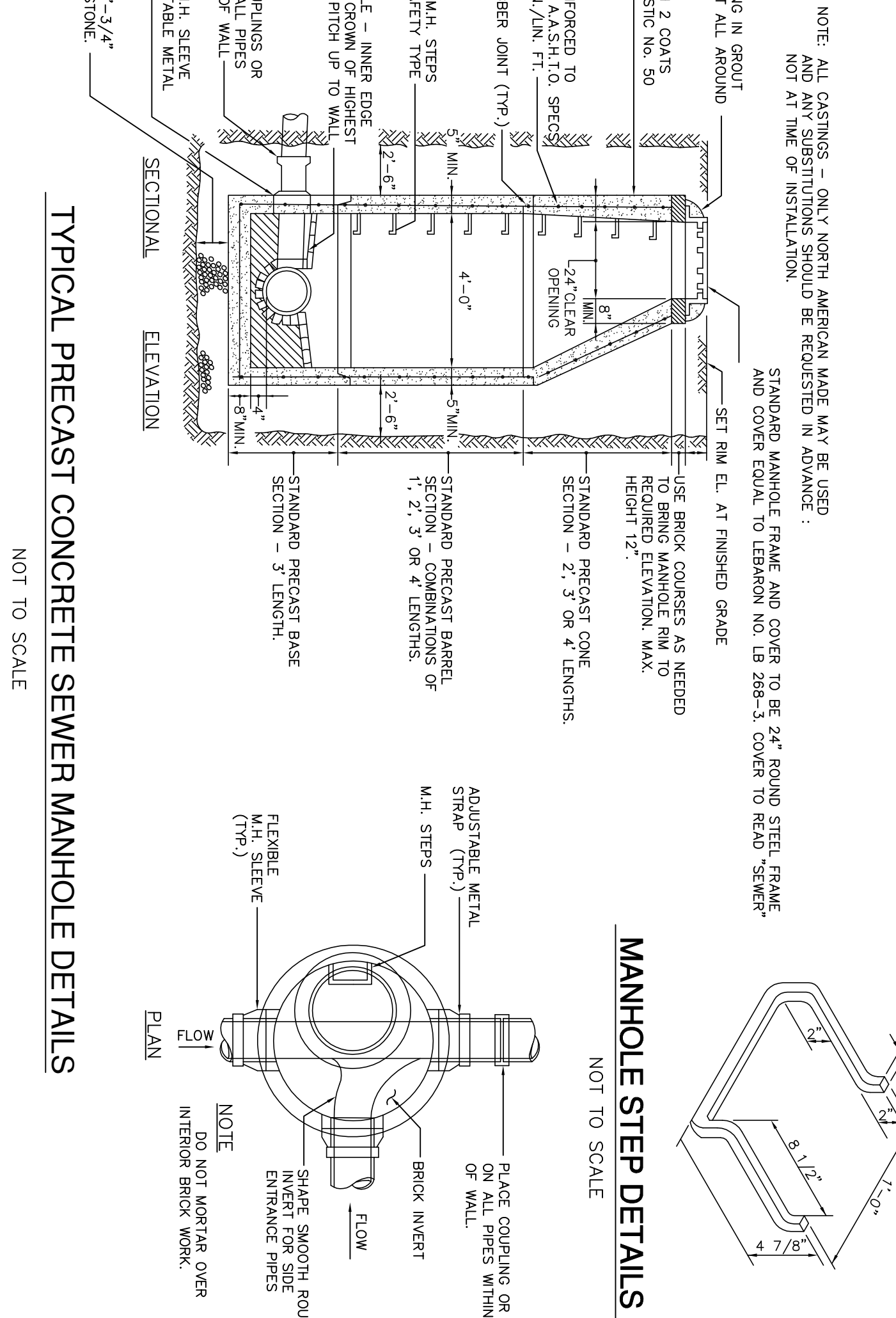
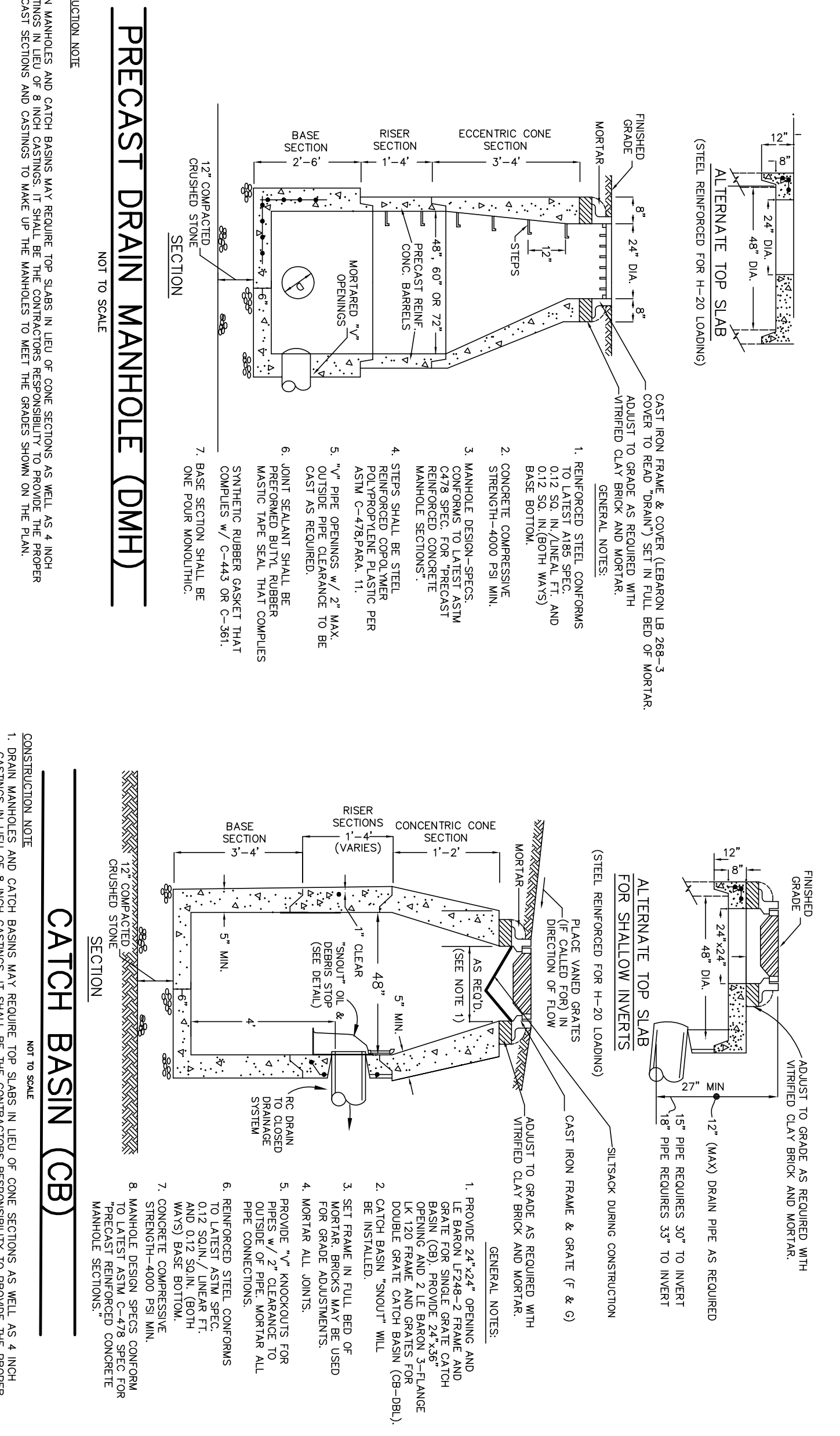


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3/7/2020	REVISED TO 4 STORY BUILDING







SITE PLAN APPROVAL

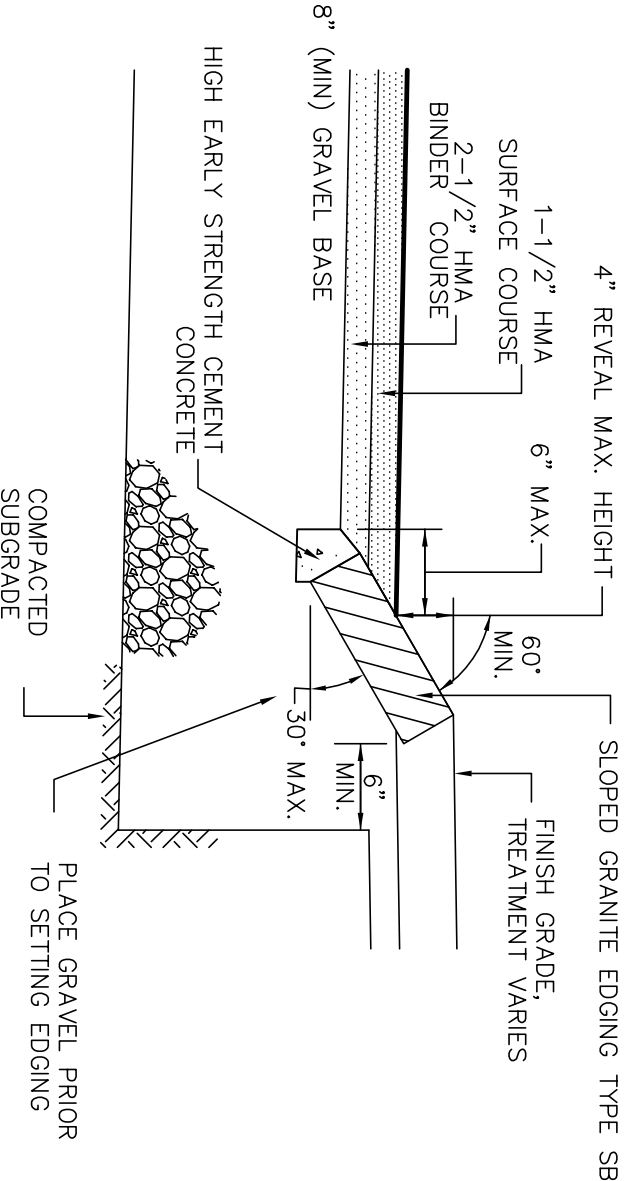
DATE: \_\_\_\_\_

WALPOLE PLANNING BOARD

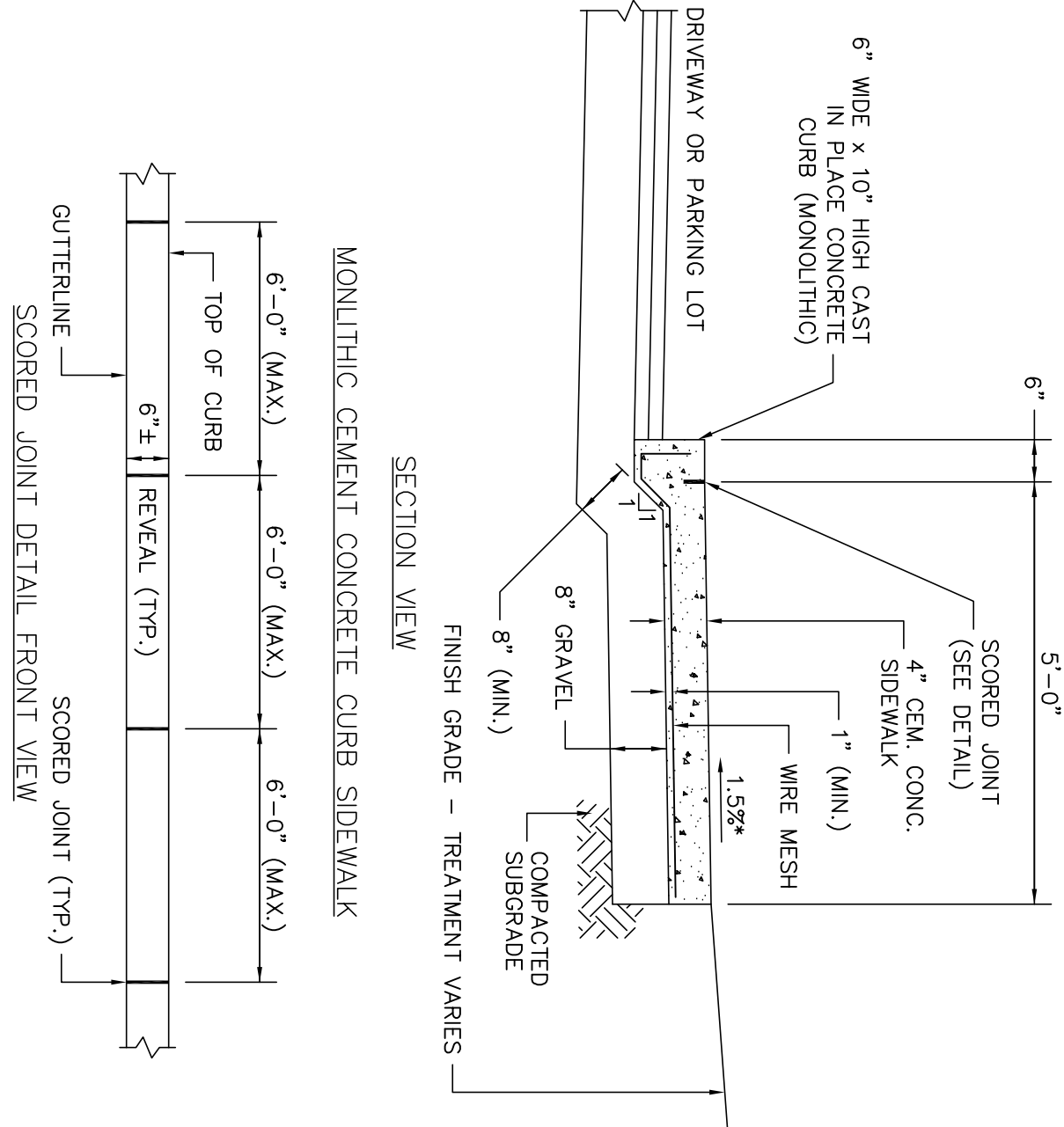
SITE PLAN APPROVAL

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SHARON ZONING BOARD OF APPEALS

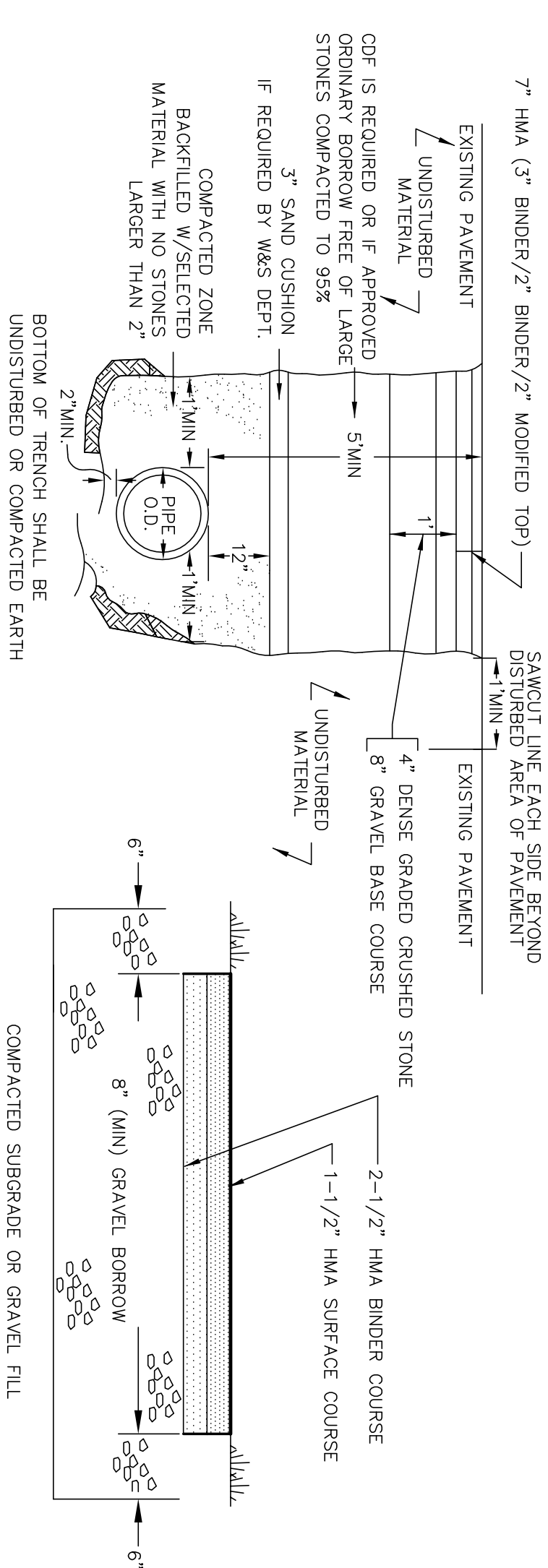


SLOPED GRANITE CURB (SGC)  
FOR USE WITHIN THE STATE HIGHWAY LAYOUT  
NOT TO SCALE



CONCRETE SIDEWALKS

NOT TO SCALE



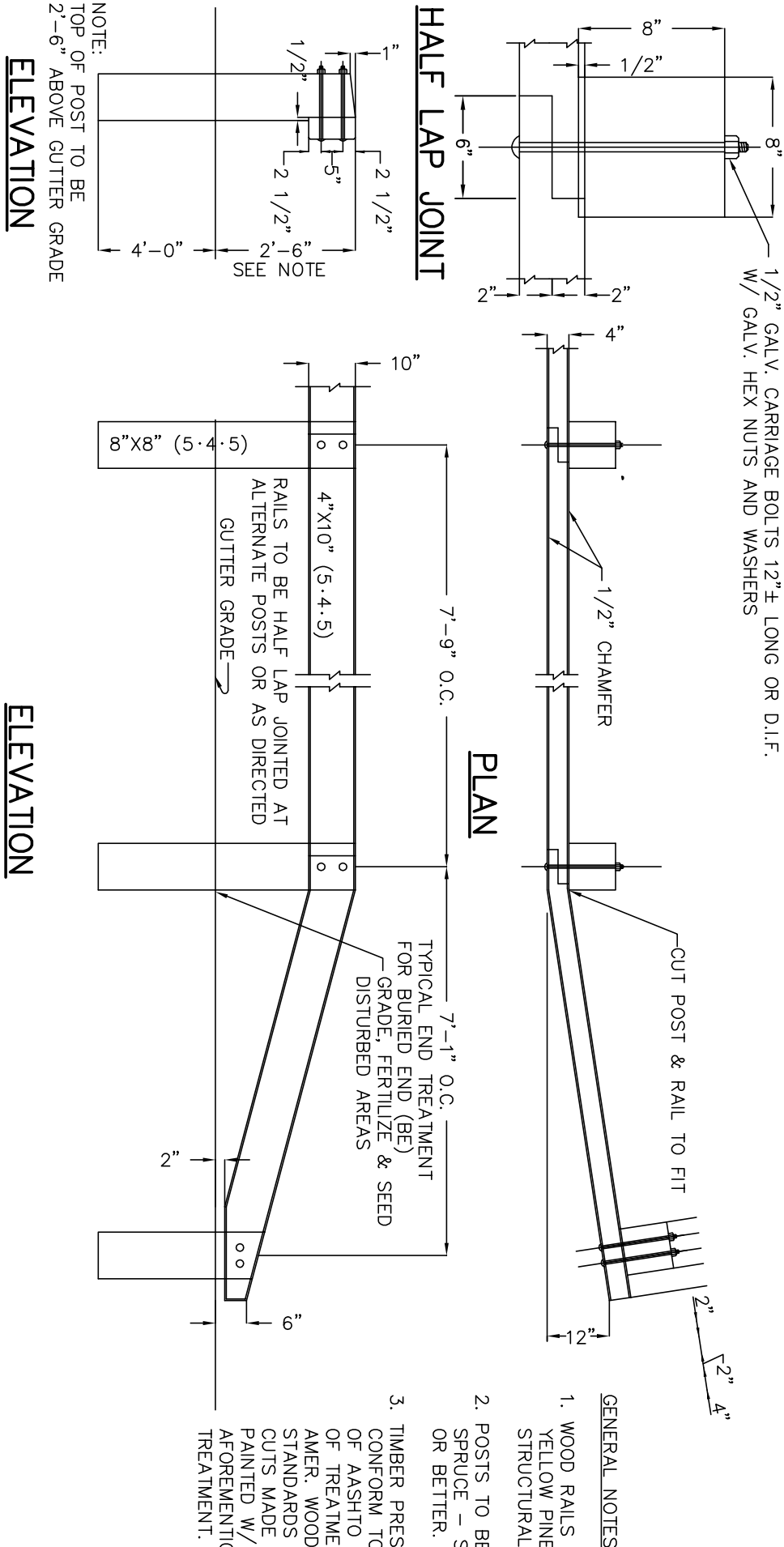
WATER MAIN TRENCH DETAIL

NOT TO SCALE

DRIVEWAY APRON PAVEMENT

NOT TO SCALE

- NOTES:
- 1) HOT MIX ASPHALT SHALL CONFORM TO SECTION 460 OF THE MASSDOT STANDARD SPECIFICATIONS.
  - 2) BASE COURSE MATERIAL SHALL BE GRAVEL BORROW M1.03.0 TYPE "B" FOR NEW ROADWAY CONSTRUCTION AND SHALL BE EITHER GRAVEL BORROW M1.03.0 TYPE "B" OR RECLAIMED PAVEMENT BORROW M1.09.0.
  - 3) A TACK COAT CONSISTING OF ASPHALT EMULSION TYPE "RS-1" SHALL BE APPLIED OVER THE BINDER COURSE AT A UNIFORM RATE OF 0.05 GALLONS PER SQUARE YARD IMMEDIATELY PRIOR TO INSTALLATION OF THE TOP COURSE.
  - 4) UNLESS OTHERWISE NOTED, CONSTRUCTION METHODS, MATERIAL REQUIREMENTS AND METHOD OF MEASUREMENT SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MassDOT) STANDARD SPECIFICATIONS. ALSO REFERENCE CURRENT MASSDOT CONSTRUCTION STANDARD DETAILS.



ELEVATION

SINGLE FACE TIMBER GUARD RAIL

NOT TO SCALE

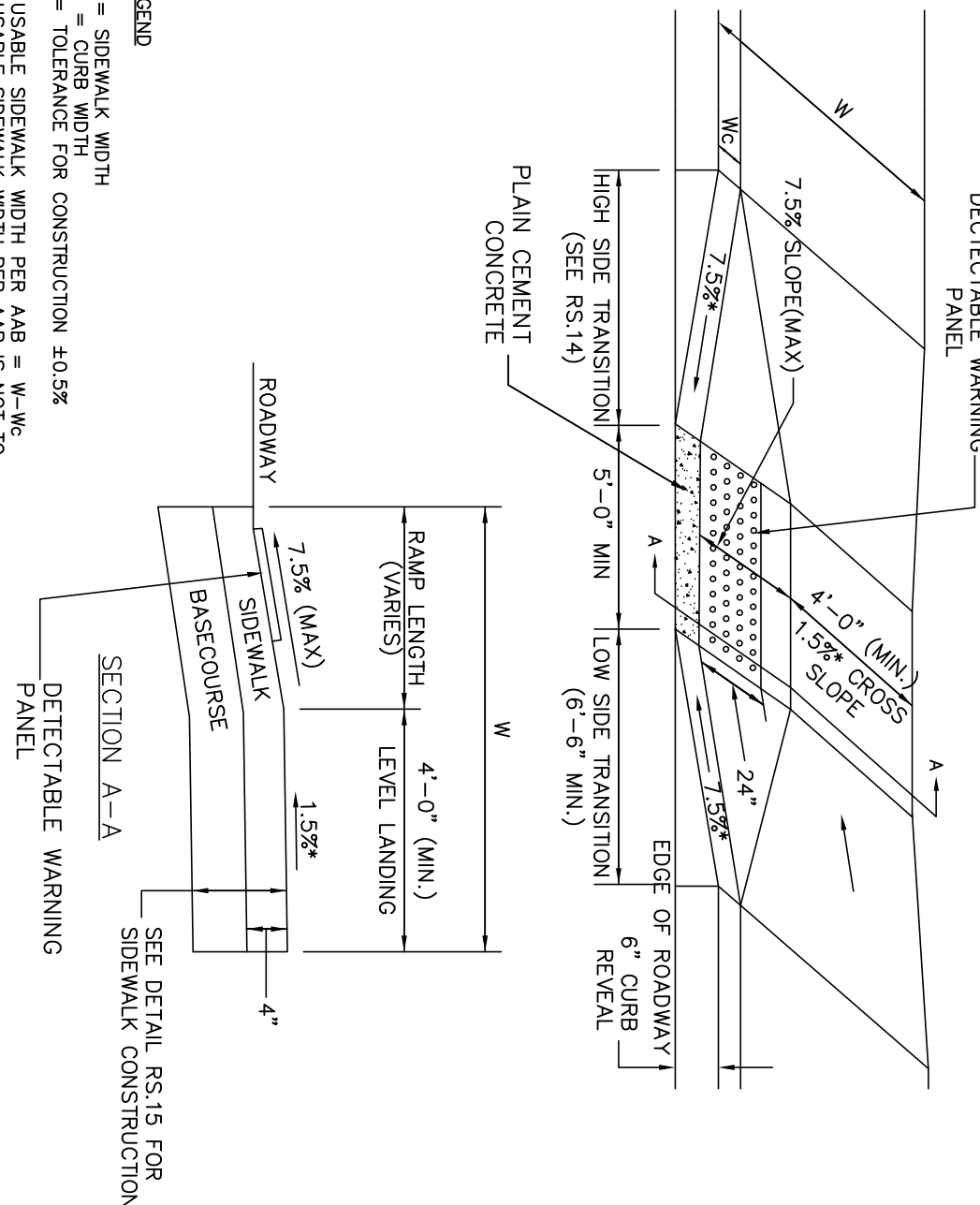
ROADWAY PROFILE GRADE (%)	*HIGH SIDE TRANSITION LENGTH
0	6'-6"
>0 TO 1	7'-8"
>1 TO 2	9'-0"
>2 TO 3	11'-0"
>3 TO 4	14'-0"
>4	15'-0" (MAX)

NOTE:

\* BASED ON DESIGN SLOPE OF 7.5% AND A CURB REVEAL OF 6"

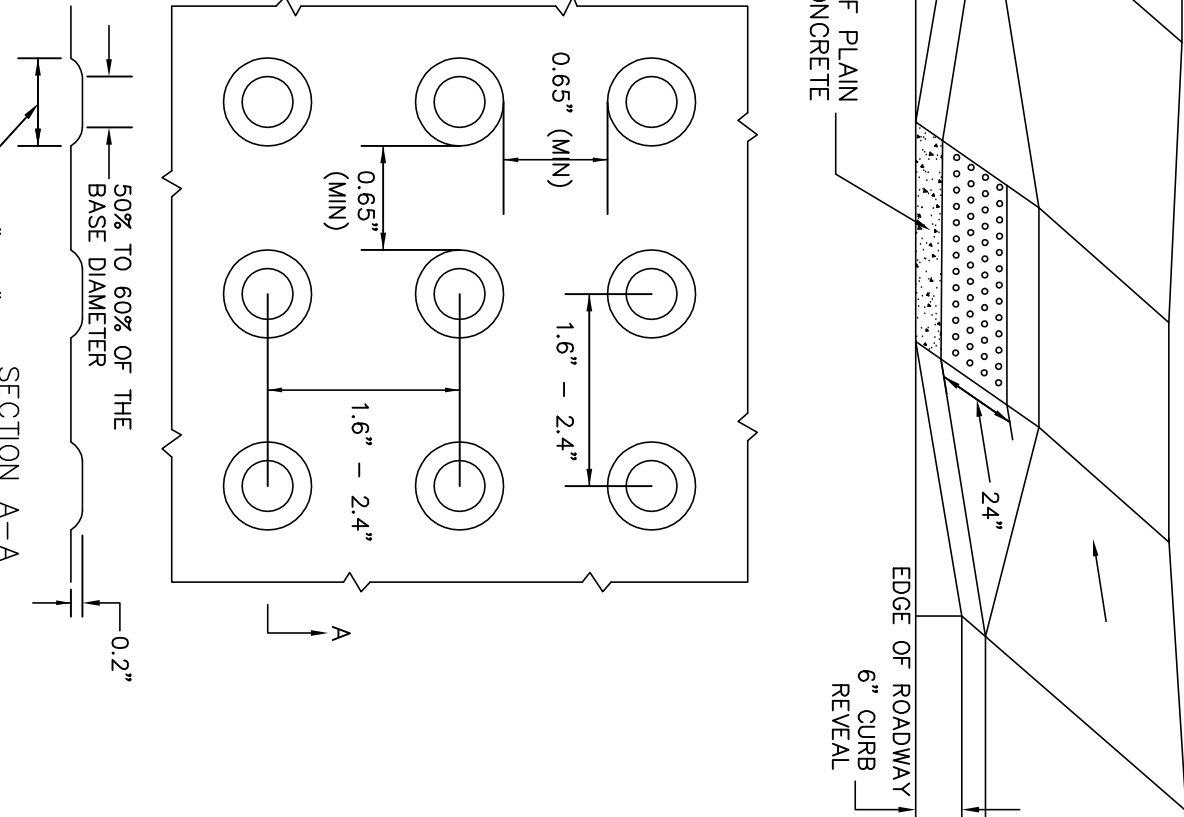
CURB TRANSITION LENGTH FOR WHEELCHAIR RAMPS

NOT TO SCALE



CONCRETE WHEELCHAIR RAMPS

NOT TO SCALE



PANELS MAY BE CONCRETE PRECAST OR CAST IN PLACE OR OTHER SUITABLE MATERIAL PERMANENTLY APPLIED TO THE RAMP. DETECTABLE WARNING SURFACES SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACES EITHER LIGHT-ON-DARK OR DARK-ON-LIGHT.

DETECTABLE WARNING PANELS FOR WHEELCHAIR RAMPS

NOT TO SCALE

SITE PLAN  
DETAILS  
#990 Boston Providence Highway  
Walpole/Sharon  
Massachusetts  
SCALE: AS NOTED JULY 1, 2019

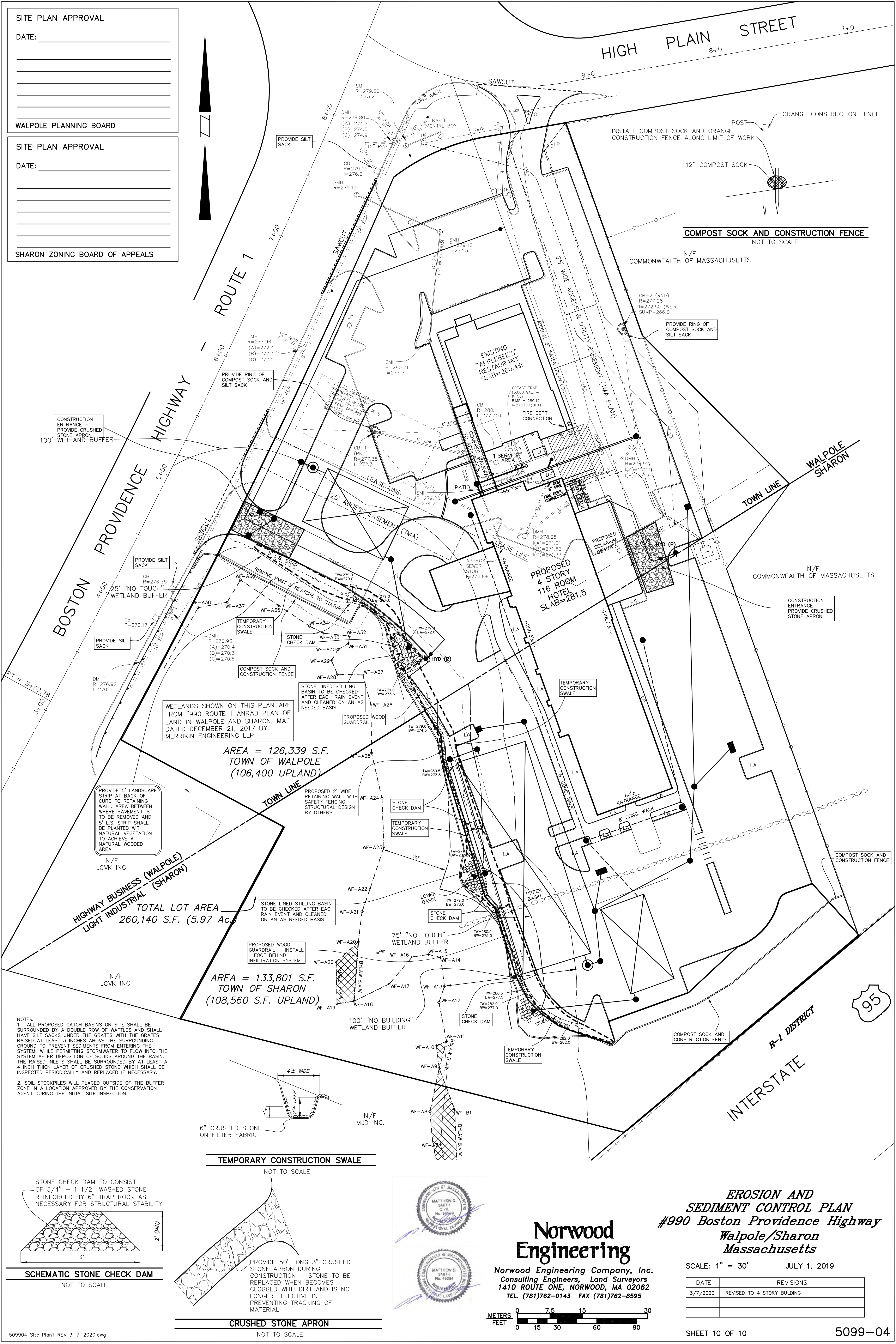
Norwood  
Engineering

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METERS 0 7.5 15 30  
FEET 0 15 30 60 90

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WALPOLE PLANNING BOARD

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SHARON ZONING BOARD OF APPEALS

COMPOST SOCK AND CONSTRUCTION FENCE

NOT TO SCALE

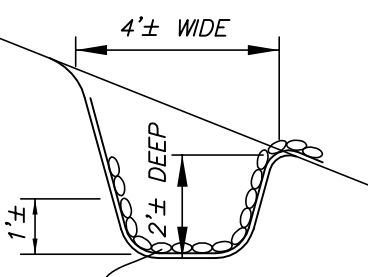
WETLANDS SHOWN ON THIS PLAN ARE FROM "990 ROUTE 1 ANRAD PLAN OF LAND IN WALPOLE AND SHARON, MA" DATED DECEMBER 21, 2017 BY MERRIKIN ENGINEERING LLP

AREA = 126,339 S.F.  
TOWN OF WALPOLE  
(106,400 UPLAND)

TOTAL LOT AREA  
260,140 S.F. (5.97 Ac.)

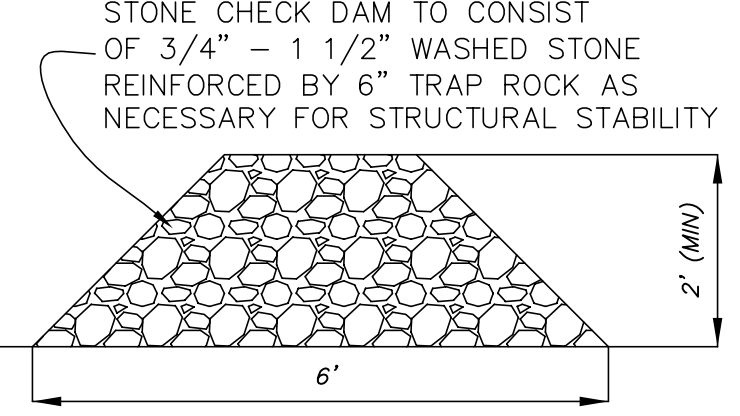
AREA = 133,801 S.F.  
TOWN OF SHARON  
(108,560 S.F. UPLAND)

NOTES:  
1. ALL PROPOSED CATCH BASINS ON SITE SHALL BE SURROUNDED BY A DOUBLE ROW OF WATTLES AND SHALL HAVE SILT SACKS UNDER THE GRATES WITH THE GRATES RAISED AT LEAST 3 INCHES ABOVE THE SURROUNDING GROUND TO PREVENT SEDIMENTS FROM ENTERING THE SYSTEM, WHILE PERMITTING STORMWATER TO FLOW INTO THE SYSTEM AFTER DEPOSITION OF SOLIDS AROUND THE BASIN. THE RAISED INLETS SHALL BE SURROUNDED BY AT LEAST A 4 INCH THICK LAYER OF CRUSHED STONE WHICH SHALL BE INSPECTED PERIODICALLY AND REPLACED IF NECESSARY.  
2. SOIL STOCKPILES WILL BE PLACED OUTSIDE OF THE BUFFER ZONE IN A LOCATION APPROVED BY THE CONSERVATION AGENT DURING THE INITIAL SITE INSPECTION.



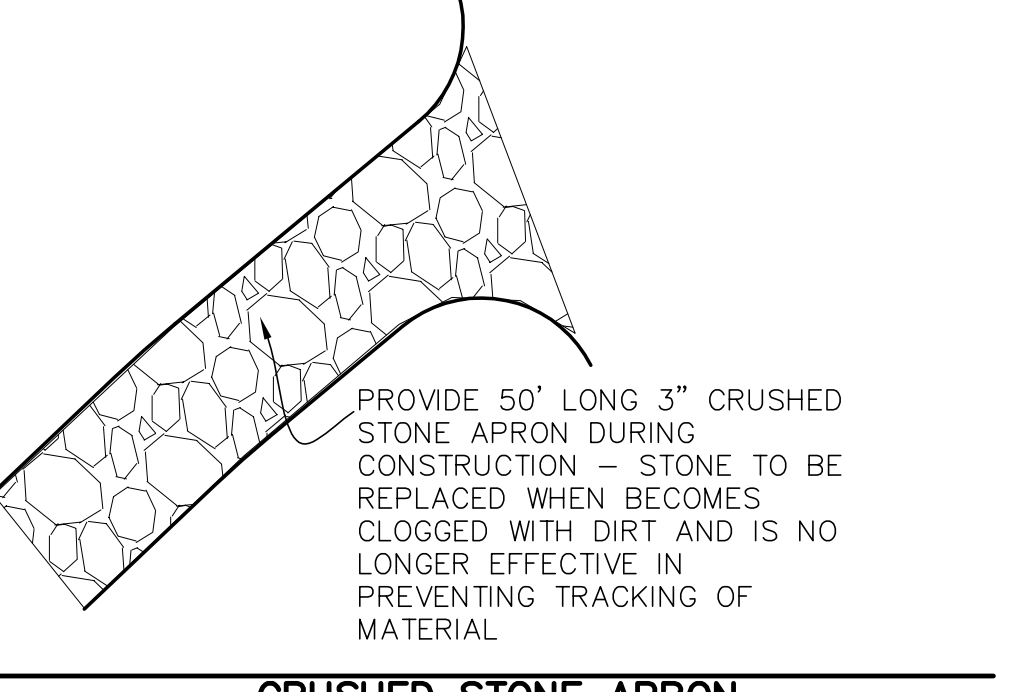
TEMPORARY CONSTRUCTION SWALE

NOT TO SCALE



SCHEMATIC STONE CHECK DAM

NOT TO SCALE



CRUSHED STONE APRON

NOT TO SCALE



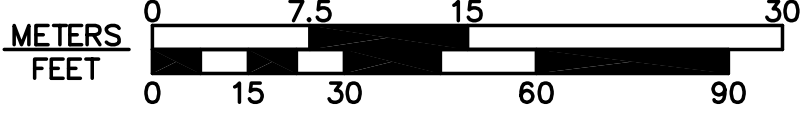
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EROSION AND  
SEDIMENT CONTROL PLAN  
#990 Boston Providence Highway  
Walpole/Sharon  
Massachusetts

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SHEET 10 OF 10

5099-04